

Gunnedah
Shire Council
Open New Horizons

Gunnedah Shire Council Development Control Plan 2025

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ACKNOWLEDGEMENT OF COUNTRY

In presenting this document to the community, Gunnedah Shire Council acknowledges the Kamilaroi Nation as the traditional Custodians of the Land on which we live and work. In doing so, Council pays its respect to all Elders both past and present as well as to the young Indigenous leaders of tomorrow.

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Contents

PART A - Introduction	1
A.1. Name	1
A.2. Application of this Plan	1
A.3. Date of Commencement	1
A.4. Purpose and aims of the Plan	1
A.5. Relationship to other Plans, Policies and Legislation	2
A.6. References in the Plan	2
A.7. Repeal of existing DCP	2
A.8. Variation to controls	2
A.9. How the Plan works	3
PART B - General Controls – All Development	4
B.1. Parking	4
B.1.1. General parking	4
B.1.2. Parking provision requirements	5
B.1.3. Qualification and exception to parking rates	14
B.2. Loading/unloading facilities	14
B.3. Slope and land stability	15
B.4. Landscaping	15
B.5. Flooding	16
B.5.1. General	17
B.5.2. Residential – new development	18
B.5.3. Residential development – extension to existing dwelling	18
B.5.4. Non habitable extensions or alterations, outbuildings and swimming pools	18
B.5.5. Industrial and commercial development	18
B.5.6. Rural uses	19
B.5.7. Alterations to the natural surface level of land	19
B.5.8. Fencing	19
B.5.9. Subdivision	19
B.6. Aboriginal cultural heritage	20
B.7. Utilities and services	20
B.8. Waste and recycling	21
B.9. Noise and vibration	22
B.10. Crime Prevention Through Environmental Design (CPTED)	23
B.11. Advertising/Signage	24
B.11.1. Above awning signage	25
B.11.2. Under awning signage	26
B.11.3. Hamper signs	26
B.11.4. Fascia signs	27
B.11.5. Pylon and pole signage	28
B.11.6. A-Frame signs	28
B.11.7. Wall signs	28

B.11.8. Signs in commercial areas	28
B.11.9. Signs in residential areas	29
B.11.10. Signs in rural areas	29
B.11.11. Tourism and other directional signage	29
B.11.12. Entrance signs	29
PART C - Residential Development	31
C.1. Dwelling house	31
C.1.1. Setbacks	31
C.1.2. Visual privacy	33
C.1.3. Public road design	33
C.1.4. Internal driveway, access and parking	33
C.2. Secondary dwellings	34
C.2.1. Setbacks	34
C.2.2. Private open space	34
C.2.3. Visual privacy	34
C.2.4. Internal driveway, access and parking	34
C.3. Dual Occupancy & multi dwelling housing	34
C.3.1. Setbacks	35
C.3.2. Private open space	35
C.3.3. Access to sunlight	35
C.3.4. Visual privacy	36
C.3.5. Building design	36
C.3.6. Landscaping	36
C.4. Outbuildings, carports and detached garages	36
C.5. Stormwater	37
C.6. Retaining walls and fill	38
C.7. Pools and spas	38
PART D - Rural Residential Development	39
D.1. Rural access	39
D.2. Dwellings & dual occupancy (attached)	39
D.3. Farm buildings and outbuildings	40
D.4. Agritourism	40
D.5. Farm stay accommodation	41
D.6. Intensive agriculture and rural industry	41
Part E - Commercial Development	44
E.1. Building setback	44
E.2. Design of buildings	44
E.2.1. Building façade and elevations	44
E.2.2. Awnings and lighting	45
E.2.3. Corner buildings	45
E.2.4. Materials, details and colours	45
E.3. Post Supported verandahs & balconies	45
E.4. Traffic & Access	46
E.5. Landscaping/shade structures	47
E.6. Night time Economy and Activation	47

E.7. Gunnedah CBD	48
E.7.1. Parking	49
E.7.2. Built form, historic buildings and urban design	50
E.7.3 Laneways	51
E.8. Gunnedah CBD Core Precinct	51
E.8.1. General	52
E.8.2. Roofs, parapets and skyline	52
E.8.3. Awnings and lighting	52
E.8.4. Rear development	52
E.8.5. Corner buildings	52
E.8.6. Materials, details and colours	53
E.8.7. Incentives for redevelopment in the Gunnedah CBD	53
E.9. Specific controls for Gunnedah CBD Eastern Precinct	54
E.10. Specific Controls for Gunnedah CBD Western Precinct	54
Part F - Industrial Development	56
F.1. Building setback	56
F.2. Design	56
F.3. Traffic & access	57
F.4. Landscaping	58
F.5. Fencing	59
F.6. Loading/unloading facilities	59
Part G - Subdivision	60
G.1. Lot orientation	60
G.2. Subdivision design	60
G.3. Roads	61
G.4. Street trees in urban zones	63
G.5. Servicing strategy	63
G.5.1. Water	64
G.5.2. Sewer	64
G.5.3. Stormwater drainage	64
G.5.4. Telecommunications & electricity	65
PART H - Additional Development Controls	66
H.1. Renewable Energy	66
H.2. Restricted Premises (Brothels)	70
H.3. Shipping Containers	71
H.4. Tree Preservation	71

Figures

Figure 1 - Above awning signage	25
Figure 2 - Under awning signage	26
Figure 3 - Hamper sign	27
Figure 4 - Fascia sign	27
Figure 5 - Pylon and pole sign	28
Figure 6 - Setbacks	32
Figure 7 - Gunnedah CBD	49
Figure 8 - Parking Area Map	50
Figure 9 - Landscaping	51
Figure 10 - No Landscaping	51
Figure 11 - Gunnedah CBD Core Precinct	54

Tables

Table 1 - Parking provision requirements	5
Table 2 - Building Setbacks	31
Table 3 - Building Setbacks R5	32
Table 4 - Private open space - Residential	35
Table 5 - Outbuildings, carports and detached garages zoning requirements	37
Table 6 - Setbacks	39
Table 7 - Setbacks rural buildings	42
Table 8 - Minimum separation distances	42
Table 9 Traffic and access - Commercial	46
Table 10 - Building setbacks - Industrial	56
Table 11 - Traffic and access - Industrial	57
Table 12 - Declared vegetation list	71

PART A - INTRODUCTION

A.1. Name

This plan is called the Gunnedah Shire Council Shire Development Control Plan 2025 (GDGP).

GDGP has been prepared in accordance with Section 3.43 of the *Environmental Planning and Assessment Act, 1979* (EP&A Act) and Division 2 of the *Environmental Planning and Assessment regulation 2021* (EP&A Reg).

A.2. Application of this Plan

This Plan applies to all land within the Gunnedah Shire Council Local Government Area (LGA).

A.3. Date of Commencement

The DCP was adopted by Council on 18 June 2025 and came into effect on 19 June 2025, being the date that the notice of commencement was published on the Gunnedah Shire Council website.

Applications are processed under the DCP that was in force at the time the development application was lodged with Council.

A.4. Purpose and aims of the Plan

The purpose of this DCP is to provide detailed guidelines for development to complement the objectives and provisions contained in the Gunnedah Local Environmental Plan 2012 (GLEP), and to facilitate development permissible within the GLEP.

Under Section 4.15 of the EP&A Act, the consent authority is required to take into consideration the relevant provisions of this DCP in determining an application for development in the Gunnedah LGA.

The aims of this Plan are to:

- Define development standards and design guidelines that deliver the outcomes desired by the community and Council.
- Provide clear and concise development guidelines for various forms of development.
- Encourage innovation in design and development by not over-specifying development controls.
- Promote high standards of development that provide positive planning outcomes by encouraging development that is sympathetic to the existing streetscape and neighbourhood character in which it is located.
- Support a vibrant community and desirable place to live, work and visit.
- Encourage ecologically sustainable development and reduce the impacts of development on the environment.
- Promote the functional commercial and business area of Gunnedah CBD to make a positive contribution to the LGA and enhanced revitalisation of the centre to ensure ongoing services to residents and visitors alike.

- To ensure growth and development in Gunnedah is inclusive, safe, resilient and sustainable, and support economic sustainability in the future and support and strengthen the CBD.

A.5. Relationship to other Plans, Policies and Legislation

This DCP does not duplicate other required controls in the EP&A Act and Regulations, other legislation, State Environmental Planning Policies or the GLEP. These controls need to be considered in addition to this DCP.

This DCP should be read in conjunction with the GLEP for the assessment of all development applications. If there is any inconsistency between this DCP and the GLEP, the GLEP will prevail.

The EP&A Act 1979 provides that, in the event of any inconsistency between the DCP and the provisions in an environmental planning instrument (EPI), such as a State Environmental Planning Policy (SEPP) or GLEP, the EPI will prevail to the extent of the inconsistency.

Compliance with the provisions of this DCP does not necessarily guarantee that consent to a Development Application (DA) will be granted. Each DA will be assessed having regard to the GLEP, this DCP, other matters listed in Section 4.15 of the EP&A Act and any other policies adopted by Council.

Council may consider alternate solutions to the controls provided in this DCP where:

The alternate solution is considered to be a better or reasonable planning outcome; and

The alternate solution achieves the aims and objectives of that design element.

A.6. References in the Plan

References to specific legislation, standards, policies and or government agency names are current at the date of commencement of this Plan and are to be referenced as including any updates and changes made post commencement of this plan.

A.7. Repeal of existing DCP

Pursuant to Section 3.43(4) of EP&A Act 1979, GDCP revokes Gunnedah DCP 2012 which covered land for which GDCP now applies.

A.8. Variation to controls

There may be situations where strict adherence to the controls of this plan is not achievable. Should such a situation arise the non-compliance with the standard contained within this Plan must be justified in writing and submitted to Council with a development application. The justification must address:

- i. the standard or control being varied;
- ii. the extent of the variation and the circumstances why the variation is being sought;
- iii. why strict compliance is unachievable, unreasonable or unnecessary in this unique instance; and
- iv. how the objectives of the control are met or an acceptable solution achieved by the variation.

Council must be satisfied that there will be no adverse impacts as a result of the variation.

Development Applications involving a variation may lead to an increase in the time taken to finalise the determination of the Development Application.

A.9. How the Plan works

This DCP provides the key criteria for specific types of development that commonly occur in the Gunnedah Shire LGA. Development controls are also provided for specific locations within the Shire. Where there are no specific controls in the DCP, Council will consider the application on merit.

Part B provides controls which will be relevant to all types of development and are *General Development Specifications*. Development controls thereafter, in Part C to G, have been grouped into type of development, namely Residential, Commercial & Retail, Industrial, and Subdivision. The last section, Part H, outlines specific controls for specific development types starting to occur in Gunnedah.

PART B - GENERAL CONTROLS – ALL DEVELOPMENT

This section of the GDCP is applicable to all development, alterations of existing sites or new developments within Gunnedah LGA.

B.1. Parking

This section ensures that development provides carparking that is consistent with the demands of that development. It provides guidance to ensure that carparking requirements are considered in a consistent and transparent manner.

This part also provides guidance on all types of vehicular access to ensure that access construction, placement and design are adequate for the development and the vehicles likely to visit and service that development. It ensures that accesses are safe and appropriate for all users.

Objectives

1. Ensure that parking and accessways for all modes of transport are safe, convenient, and functional to meet anticipated needs.
2. Provide adequate provision of off-street parking consistent with the parking demand generated by the development.
3. Provide convenient and adequate parking for staff, clients, visitors, and servicing groups including for disabled and aged persons.
4. Provide landscaping and quality materials in the construction of parking areas to improve the amenity of those parking areas.
5. Car parking areas and/or structures are well-sited and designed as an integrated component of the total development and do not adversely impact on the function, safety, capacity or visual quality of the public domain or road network.

Controls

B.1.1. General parking

- a. Parking and traffic requirements should be based on consideration of:
 - I. likely peak usage times;
 - II. likely demand for off street parking generated by the development;
 - III. existing traffic volumes on the surrounding street network; and
 - IV. efficiency of existing parking provision in the location.
- b. Parking layout is to comply with AS 2890 Series Parking Facilities.
- c. All provided parking spaces are to be individually accessible. Tandem parking spaces (combined length of greater than 11.3m) are not appropriate in visitor or public parking areas, but may be acceptable in the following situations:
 - i. Staff parking for commercial premises where the applicant has demonstrated that there is no alternative. Where provided, these spaces must be clearly marked.

- ii. Residential developments where both spaces are attached to one dwelling.
- iii. Reserved car parking areas where both spaces are allocated to a single tenant.
- d. Where existing premises are being redeveloped or their use changed, the following method of calculation shall apply:
 - i. Determine the parking requirement of the existing approved development or carparking demand in accordance the existing development consent.
 - ii. Determine the parking requirements of the proposed development in accordance with Table 1. Where a proposal includes multiple land uses, the applicable rate for each specific land use must be applied to the area of the site, specific to that use.
 - iii. Subtract the number of spaces determined in (i) from the number of spaces calculated in (ii).
 - iv. The difference calculated in (iii) represents the total number of parking spaces to be provided either in addition to the existing on-site car parking or as a cash-in-lieu contribution to Council where applicable. If the result is a negative, no additional spaces are required.
- e. For surface treatment of internal parking and access, including manoeuvring and loading/unloading areas, refer to Part C – Residential Development, Part E – Commercial Development and Part F – Industrial Development.

Note: a refund on previous contributions paid is not available where the new use requires less parking than a previous use.

B.1.2. Parking provision requirements

- a. On site parking must be provided as per Table 1.
- b. Where calculation of parking spaces required results in a fraction of a space, the total required number of spaces will be the next highest whole number.
- c. Dedicated parking spaces for disabled persons should be provided at the rate as per Volume One of the Building Code of Australia.
- d. Constrained sites within the Gunnedah CBD proposed to be redeveloped, may apply for variation and/or pay a contribution, as outlined in Section 5 of this GDCP.

Table 1 - Parking provision requirements

Land Use	Parking	Comments
Retail and commercial		
Bulky Goods Premises	1 space per 50m ² GFA*	Parking must be provided to satisfy the peak cumulative parking requirements of the development as a whole. A comparison survey of similar development should be provided with the development application. Calculations will be refined according to the specific characteristics of the proposed development. Customer parking spaces should be readily accessible and should not be used for the display of vehicles or other merchandise or for loading/unloading trucks.

Land Use	Parking	Comments
Retail Plant Nursery (including landscape and garden supplies)	1 space per 130m ² gross display area	Adequate on-site loading/unloading facilities for service vehicles must be provided for all retail development. Separate driveways and circulation systems should be provided for service and customer vehicles wherever possible.
Retail premises (not including Industrial Retail Premises) Major Retail Premises, Neighbourhood Shops, Food and Drink Premises		If the proposed development is an extension of an existing retail development, additional parking demand could be less than proportional to the increase in floor area. A lower level of parking provision may apply where it can be demonstrated that the times of peak demand for parking coincide or where common usage reduces total demand. Council may also rely on the TfNSW Guide to transport impact assessment for calculation of parking for specifically identified developments, such as drive-in take away “fast food” outlets.
Shops <1000m ² GFA	1 space per 25m ² GFA*	
Shops >1000m ² GFA	1 space per 16m ² GFA*	
Major Retail Premises	Refer to TfNSW Guide to transport impact assessment (generally 1 space per 20m ²)	
Roadside stall	Minimum of 4 off-street parking spaces	
Drive In Take Away Food Shop	1 space per 10m ² GFA* PLUS 1 space per 5 seats	An exclusive area for queuing of cars for a drive through facility is required (queue length of 5 to 12 cars measured from pick-up point). There should also be a minimum of 4 car spaces for cars queued from ordering point.
Restaurants and Function Centres	1 space per 6.5m ² GFA*	The parking requirement may be reduced where the development is located in a business zone in close proximity to a public off- street parking area and it can be demonstrated that peak demand for the restaurant will not coincide with peak demand for the public parking area. Consideration will also be given to reducing the rate for certain development (e.g. coffee shops, café, milk bars, etc.) which primarily operate on during 9.00am to 5.00pm on weekdays and Saturday mornings, where peak demand for the restaurant will be ancillary to the parking

Land Use	Parking	Comments
		demand generated by surrounding business premises or shops. A food outlet which provides no seating will be assessed as a “shop”.
Office Premises	1 space per 40m ² GFA	This calculation includes staff parking.
Business Premises	1 space per 40m ² GFA	Provision should be made for the movement and on-site loading and unloading of service vehicles as appropriate.
Vehicle sales or hire premises	0.75 spaces per 100m ² of site area	Where vehicle servicing facilities are provided, additional on-site car parking must be provided in accordance with the rate required in this Plan for a “Vehicle Repair Station”.
Educational		
Child Care Centre	1 space for every 4 children based on the maximum number of children at the centre.	This calculation includes staff parking. Car parking should include a dedicated drop-off zone.
Educational Establishment	1 space per 2 staff PLUS 1 space per 30 students over 17 years for high schools and 1 space per 5 students for higher education establishments	Where required by Council, provision shall be made for the access and parking of buses.
Health		
Medical centres	1 space per 25m ² GFA OR 3 spaces per practitioner PLUS 1 space per employee WHICHEVER IS GREATER	The 3 spaces per practitioner include patient parks.

Land Use	Parking	Comments
Health Consulting Room	3 spaces per practitioner PLUS 1 space per employee	The 3 spaces per practitioner include 2 patient parks. If it can be shown that not all surgeries will be in concurrent operation, consideration may be given to reducing the parking provision for patients. Parking areas for patients are to be located at the front of the development or in a location which will encourage patients to use the parking area rather than the adjoining street.
Tourist and visitor accommodation		
Bed & Breakfast Accommodation	1 space per guest room PLUS 1 space per resident manager	
Motel (including serviced apartments) Parking for backpackers' accommodation will be assessed according to parking demand and overall availability of existing parking	1 space per accommodation unit PLUS 1 space per 2 employees	If a restaurant and/or function room is to be included, additional parking will be required at the adopted rate for such facilities. Council is willing to review this requirement if it can be demonstrated that the time of peak demand for parking at each facility does not coincide or if the facilities will primarily serve motel customers.
Camp or Caravan Site	1 space per site PLUS 1 space per 10 sites for visitor parking as per the requirements under the Local Government Regulation.	The visitor parking area should be appropriately located and signposted.
Hotel	1 space per hotel unit PLUS 1 space per 6.5m ² licensed public floor area	Proposed hotel development will be compared to similar existing developments noting the existing supply of, and demand for parking in the area and of the peak parking periods of individual facilities within the hotel. If a function room/nightclub is included, parking will be required to meet peak demands.

Land Use	Parking	Comments
Industrial		
Warehouses or Distribution Centre Freight Transport Facility	1 space per 300m ² GFA* plus 1 space per 40m ² GFA for any office component OR 1 space per employee WHICHEVER IS GREATER	Adequate provision should be made for the manoeuvring, loading and unloading of vehicles on site.
Artisan food and drink premises	1 space per seat (indoor and outdoor)	
Transport Depot/ Truck Depot	1 space for each vehicle present at the time of peak vehicle accumulation on the site.	Provision should be made for fleet vehicles, visitor and employee vehicles and contract/operator vehicles. Under no circumstances is the parking (for storage) of trucks and/or buses on a public street acceptable. Driveways should be designed in accordance with the type of road frontage, the number of parking spaces and service bays served and the type of vehicles that will enter the terminal. Consideration should also be given to providing adequate access, parking and manoeuvring space for B-Doubles.
Vehicle Repair Station or workshop	1 space per 40m ² GFA OR 3 spaces per workshop bay WHICHEVER IS GREATER	
Industrial Retail Premises	1 space per 45m ² GFA	Parking must be provided to satisfy the peak cumulative parking requirements of the development as a whole. A comparison survey of similar development should be provided with the development application. Calculations will be refined according to the specific characteristics of the proposed development. Customer parking spaces should be readily accessible and should not be used for the display of vehicles or other merchandise or

Land Use	Parking	Comments
		for loading/unloading trucks.
Highly Automated industrial	0.2 spaces per 100m ² GFA	
Industry (includes light industry and heavy industry)	1 space per 75m ² GFA OR 1 space per 2 employees WHICHEVER IS GREATER	This requirement may increase when retailing is permitted on-site or the office space component is in excess of 20% of the floor area. On-site truck parking spaces should be provided for each vehicle present at any one time excluding those vehicles in loading docks. Under no circumstances is the parking of trucks on public streets acceptable.
Residential		
Dual Occupancy	1 space per dwelling for dwellings with 1 bedroom 2 spaces per dwelling for dwellings having 2 or more bedrooms In either case: 1 visitor where a minimum 6m on-street kerb-side parking is not available	For the purpose of this calculation “bedrooms” will include rooms capable of being occupied as a bedroom, study, craft room and the like.
Dwelling House	2 spaces per dwelling	Development in R2 and R3 zones must locate at least one car parking space behind the front building line.
Secondary Dwelling		Secondary dwellings must not result in the principal dwelling on the site having less than the required car parking spaces.
Group Homes	1 space per 4 beds plus 1 space per employee	The provisions of State Environmental Planning Policy (Housing) 2021 apply to this type of development.

Land Use	Parking	Comments
Multi Dwelling Housing	<p>1 enclosed space per 1 and 2 bedroom dwelling PLUS 1 visitor space per 5 dwellings (or part)</p> <p>2 spaces (1 enclosed) per 2 and 3 bedroom dwelling PLUS 1 visitor space per 3 dwellings (or part)</p> <p>2 enclosed spaces per 3 or more bedroom dwelling PLUS 1 visitor space per 2 dwellings (or part)</p>	Turning facilities should be provided on site so that vehicles always leave the site in a forward direction across the footpath. Of the resident parking spaces, one space per unit should be dedicated to specific units. Visitor parking spaces must be clearly designated and readily accessible. Appropriate signposting should be provided at the entrance to the site.
Hostel for Seniors (a) Self-contained units (subsidised) (b) Self-contained units (resident funded developments) (c) Hostel, Nursing and Convalescent Home	<p>1 space per 10 units (residents) PLUS</p> <p>1 space per 10 units (visitors)</p> <p>2 spaces per 3 units (residents) PLUS 1 space per 5 units (visitors)</p> <p>1 space per 10 beds (visitor parking) PLUS 1 space per 2 employees PLUS 1 space for an ambulance</p>	<p>Parking Provision (a) is only to be used where it can be clearly demonstrated that low car ownership levels will prevail.</p> <p>Resident funded developments tend to have a higher per unit cost and attract residents with higher financial resources. More importantly, car ownership levels are likely to be higher than in subsidised developments.</p>
Housing for Aged or Disabled Self Contained	<p>1 space per 2 dwellings plus</p> <p>1 space per 5 units</p>	

Land Use	Parking	Comments
Dwellings	for visitors	
Manufactured Home Estate	1 space per site plus 1 space per 10 sites for visitor parking	The visitor parking area should be appropriately located and signposted
Recreational		
Recreational Facility <i>- Squash Courts</i> <i>- Tennis Courts</i> <i>- Bowling Alleys</i> <i>- Bowling Greens</i> <i>- Gymnasium</i> <i>- Golf Course</i>	3 spaces per court 3 spaces per court 3 spaces per alley 30 spaces for first green plus 15 spaces for each additional green 1 space per 25m ² actual floor space available for gymnastic activities 4 spaces per hole	Where various facilities are provided within one development, Council may consider relaxing the parking requirements where peak usage times do not coincide or where dual and complementary usage of the common off street parking area is anticipated.
Registered Clubs	1 space per 4m ² of public or licensed floor area (bar, lounge, dining room, games room, etc.) plus 1 space per 3 staff (staff level at peak time)	Parking must be provided to satisfy the peak cumulative parking requirements of the development as a whole. Council may consider relaxing this requirement depending on the characteristics of the proposed development. For the purpose, a comparison survey of clubs in similar localities should be provided with the development application.

Land Use	Parking	Comments
Other Uses		
Home Activity and home business	1 space in addition to dwelling requirements plus 1 space per two staff	This requirement may be either waived or increased by Council depending on the characteristics of the home activity and the number of persons involved.
Restricted premises	1 space per 30m ² GFA (leasable)	
Places of Public Worship	1 space per 10 seats OR 1 space per 15m ² of main assembly area WHICHEVER IS GREATER	
Service Station	6 spaces per work bay PLUS 1 space per 20m ² GFA of a convenience store PLUS 1 space per 6.5m ² GFA	The additional requirements should be cumulative but may be reduced where it can be demonstrated that the times of peak demand for the various facilities do not coincide. All parking should be clearly designated and located so as not to obstruct the normal sale of petrol and should minimise the potential for vehicular/pedestrian conflict. Consideration should be given to providing adequate manoeuvring space for caravans and B-Doubles.
Sex services premises	1 space per staff working at any one time PLUS 1 space per room where sexual services are provided	
Veterinary Hospital	3 spaces per practitioner PLUS 1 space per employee	If it can be shown that not all surgeries will be in concurrent operation, consideration may be given to reducing the parking provision for the owner of patients. Parking areas for the owner of patients are to be located at the front of the development or in a location which will encourage the owner of patients to use the parking area rather than the adjoining street.

*GFA Gross Floor Area

**GLFA Gross Leasable Floor Area

Explanatory Notes

Document to refer to

Australian Standards AS 2890.1 Part 1: Parking Facilities: Off-street Car Parking;

~ AS 2890.2 Part 2: Parking Facilities: Off-street Commercial Vehicle Facilities;

~ AS 2890.3 Part 3: Bicycle Parking Facilities;

~ AS 2890.5 Part 5: On-street parking; and

~ AS 2890.6 Part 6: Disabled parking.

Document requirements for development applications

Where there are no specific rates listed above, refer to the TfNSW , 2024, Guide to Transport Impact Assessment or demonstrate requirement for parking will be met based on a Traffic Assessment Report, prepared by a suitably qualified consultant.

B.1.3. Qualification and exception to parking rates

- a. The restoration, conservation and / or adaptive re-use of an item of environmental heritage that is listed in Schedule 5 of Gunnedah LEP can apply for flexibility in parking rates. This is known as a heritage incentive and will only be applied where the applicant can demonstrate that the conservation of the item depends upon the use of this clause.
- b. Council may, at its discretion, waive the car parking requirements for small scale additions where;
 - i. the proposed extension is of a minor nature requiring the provision of not more than one additional car parking space, or
 - ii. the extension is not directly related to the parking generation potential of the development.

Explanatory Notes

Document required for development applications

Development Applications for proposals which are not able to comply with the on-site parking requirements should be accompanied by a Traffic & Parking Report.

B.2. Loading/unloading facilities

Objectives

1. Ensure that loading docks are located and designed in a manner that facilitates ease of truck usage and assists the effectiveness of the business/industry.
2. All loading and unloading of vehicles are to take place on site so as not to block traffic, obscure pedestrian movement or consume on-street parking, where available.

Controls

- a. In the case of all commercial, retail and industrial development, adequate provision must be made on the development site for the loading and unloading of service vehicles.
- b. The number and dimensions of loading bays required in any particular case will be assessed by Council having regard to the nature and scale of the proposed development, the estimated frequency of deliveries and the type of delivery vehicle likely to be involved. Details regarding the estimated size and frequency of goods delivery vehicles visiting the premises are required to be submitted with the development application.
- c. Loading / unloading bays should be designed to ensure that vehicles can manoeuvre into and out of all loading / unloading areas without conflicting with the movement of traffic on site or in the adjacent streets.
- d. The loading / unloading areas should be designed to accommodate the turning path of appropriate service vehicles.
- e. The loading / unloading areas must be designed to ensure that vehicles stand entirely within the site during loading and unloading operations, except in the core Gunnedah CBD area, as outlined in Part E.

B.3. Slope and land stability

Objective

1. To ensure consideration for land stability and final method of retaining of earth batter.

Control

2.1.1 Slope

- a. Development on slopes greater than 15% require a detailed geotechnical investigation (including slope stability analysis) and design to demonstrate good hillside development practice (as per “Geotechnical Risks Associated with Hillside Development” – *Australian Geomechanics News* No. 10 December 1985). Engineer’s certification is to accompany the development application.

Cut/fill greater than 1 metre is not recommended without suitable earth batter to promote vegetation growth or retaining walls which include consideration of visual impacts presented from public spaces.

B.4. Landscaping

Objectives

1. Enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings.
2. Conserve significant natural features of the site and contribute to the effective management of biodiversity.
3. Retain and provide for mature vegetation, particularly large and medium sized trees.
4. Improve the microclimate conditions on sites and the solar performance of dwellings.
5. Ensure that landscaping in bushfire prone areas considers the Planning for Bushfire Protection Guidelines.

6. Landscape design should consider usability, privacy and opportunities for social and recreational activities. Neighbours' amenity should also be respected.

Controls

- a. The following is to be considered when tree species are being selected:
 - iii. the proximity of the tree to adjoining properties and the road reserve-once it matures,
 - iv. the location of the mature tree and its roots to underground services and utilities, and
 - v. the impact on asset protection zones and bushfire risk.
- b. Landscaping abutting environmental protection areas should consist of local indigenous species to protect bushland and habitat corridors and soften the interface between the natural landscape and the urban environment.
- c. A landscape plan is to be lodged with the development application.
- d. For multi dwellings and residential flat building developments, open space areas shall be landscaped.

Explanatory Notes

Requirements for development applications

A landscape plan is to be lodged with the development application.

Plans should be to scale to enable the review of plant location on the site.

Plans must contain the following information

- i. dimensions of walls, fencing and paving
- ii. any balconies, private open space, and communal open space
- iii. plant species and the expected height of species

B.5. Flooding

Parts of Gunnedah and some villages are affected by flooding. Other areas of the local government area are also susceptible to flooding but have not been studied by Council. These areas, however, still require consideration of flooding. Clause 5.21 of the GLEP requires that proposed development consider flood hazard.

This part should be read in conjunction with the *NSW Government Flood risk management manual: The policy manual for the management of flood liable land (2023)*.

Council has adopted the 1% Annual Exceedance Probability (AEP) plus 0.5m freeboard, as its Flood Planning Level (FPL). Land below the Flood Planning Level is referred to as "flood affected land". Flood affected land as shown on the Flood Planning Map, is defined as the most current information available to Council and may be derived and interpreted from a combination of the following:

- i. Flood Studies identifying the 1% flood undertaken in accordance with the Flood risk Management Manual, prepared by the NSW Government (as applicable at the time the Study was conducted).
- ii. Modelling undertaken for specific sites which identifies the 1% flood level.

- iii. Historic flood inundation records held by Council as the highest known flood.
- iv. Information contained within an environmental planning instrument or policy.
- v. Specific flood mapping for the site.

Definitions

Flood fringe areas are that part of the flood extents for the event remaining after the flood function areas of floodway and flood storage areas have been defined.

Flood planning area (FPA) means all land below the Flood Planning level.

Flood planning level (FPL) means the combination of the flood level from the Defined flood event (DFE) and freeboard selected for Flood Risk management purposes.

Floodway means an area of the floodplain which generally convey a significant discharge of water during floods and are sensitive to changes that impact flow conveyance. They often align with naturally defined channels or from elsewhere in the floodplain.

Flood storage areas are areas of the floodplain that are outside floodway's which generally provide for temporary storage of floodwaters during the passage of a flood and where flood behaviour is sensitive to changes that impact on temporary storage of water during a flood.

Probable Maximum Flood (PMF) means that the largest flood that could conceivably occur at a particular location, usually estimated from probably maximum precipitation (PMP), and where applicable coupled with the worst flood -producing catchment conditions.

Objectives

1. To comply with the objectives of Clause 5.21 of the GLEP.
2. To take account of social, economic, and ecological factors in relation to flood issues.
3. To ensure development is in accordance with the principles contained in the NSW Government *Flood risk management manual*.
4. To only permit development where the full potential risk to life from flooding can be managed for all known flood affected areas.
5. To minimise the impact of flooding and flood liability on individual owners and occupiers.
6. To ensure development and construction materials are compatible with the flood hazard.

Controls

B.5.1. General

- a. Consideration will be given to development on land below the flood planning level, but only if it is not located within a floodway or high hazard area as stated in the NSW Government Flood risk management manual.
- b. Any portion of any building that may be subject to the effects of flood waters is to be built from flood compatible materials.
- c. All services associated with the development are to be adequately flood proofed.
- d. On-site sewage management systems located within a flood planning area shall be designed to ensure that effluent cannot be discharged into flood waters. Any electronic components are to be raised above the FPL or be suitable for submergence.

- e. The following land uses are generally considered to be unsuitable below the flood planning level and will not be supported; boarding houses, caravan parks, correctional centres, early education and care facilities, eco-tourist facilities, educational establishments, emergency services facilities, group homes, hazardous industries, hazardous storage establishments, hospitals, hostels, information and education facilities, respite day care centres, seniors housing, sewerage systems, tourist and visitor accommodation, water supply systems.
- f. Flood free access is required for all lots created by subdivision.

B.5.2. Residential – new development

- a. Developments designed to cater for vulnerable sections of the community (such as seniors housing) are not suitable for land identified as being a Flood Planning Area.
- b. Floor levels of habitable rooms are to be at or above the Flood Planning Level.
- c. Flood safe access and emergency egress for all flood events up to the 1% AEP event plus 500mm freeboard is to be provided.
- d. Residential garages are to be at or above the 1% AEP level. Where this is impractical, garages are as to be as high as practical and electrical points are to be at or above the 1% AEP level.

B.5.3. Residential development – extension to existing dwelling

- a. Additions to existing buildings will only be permitted below the 1% AEP flood level, with limitations, as follows:
 - i. where the floor level of the proposed addition is located below the 1% AEP flood level, the maximum increase in floor area is not to exceed 10% of the floor area of the existing dwelling;
 - ii. and will not result in an increase in the number of bedrooms in the dwelling; and
- b. Where the floor level of the proposed addition is located above the 1% AEP flood level, the maximum increase in habitable floor space shall not exceed 100m².
- c. Extensions with floor levels below the Flood Planning Level require the applicant to demonstrate that;
 - i. no practical alternative exists, and
 - ii. the level of hazard will not increase.

B.5.4. Non habitable extensions or alterations, outbuildings and swimming pools

- a. Any portion of a building that may be subject to inundation is to be built from flood compatible materials.
- b. All electrical services shall be adequately flood proofed.
- c. All flood sensitive equipment shall be located above the 1% AEP flood level.

B.5.5. Industrial and commercial development

- a. Floor levels of buildings shall be at or above the Flood Planning Level or constructed of flood proof materials to at least the Flood Planning Level.
- b. Flood safe access and emergency egress for all flood events up to the 1% AEP event is to be provided.

- c. All flood sensitive equipment shall be located above the 1% AEP flood level.

B.5.6. Rural uses

- a. New buildings and extensions to existing buildings for rural uses that are below the 1% AEP flood level (other than a residential building) will be considered on their merits subject to;
 - i. the proposed development not increasing the flood hazard or flood damage to other properties or adversely affect other properties during times of flooding, and
 - ii. the proposed use and the potential for property loss.
- b. Areas to be used to store potential pollutants and hazardous materials are to be constructed above the 1% AEP flood level.

B.5.7. Alterations to the natural surface level of land

- a. A Survey plan prepared by a registered surveyor is required showing the contour levels of natural surface, any proposed fill and the designed contours for the proposed finished surface levels. Proposed earthworks are not to increase the flooding hazard to other properties during flood events. A consulting engineer is required to detail the impact of the proposed fill on adjoining properties.

B.5.8. Fencing

- a. Fencing construction and materials are to allow floodwaters to equalise on either side.
- b. Fencing construction and materials are to safely allow floodwaters or debris to pass.

B.5.9. Subdivision

- a. Residential subdivisions will not be permitted where any lot to be created will be fully inundated by a 1%AEP event and the creation of such lot will create the potential for increased intensity of development on flood liable land.

Explanatory Notes

Documents to refer to

Understanding and Managing Flood Risk FB01, Department of Planning and Environment, June 2023.

On 1 March 2024, the Department of Planning, Housing and Infrastructure published Planning Circular PS 24-001. The Circular provides an outline on the existing flood-related planning policies and provides further advice and information on flood matters for planning authorities to consider. It is a supplement to PS 21-006, 'Considering flooding in land use planning: guidance and statutory requirements.

Considering flooding in land use planning guideline (2021).

Requirements for development applications

A comprehensive flood report *may* be required with any development application on land identified as being at or below the flood planning level, this should be discussed with council prior to submitting a development application. The flood report shall be prepared by a suitably qualified and experienced

engineer recognised under the National Professional Engineers Register in this field or registered surveyor. The full name of the person who prepared the report, relevant qualifications and registration number are to be provided on the front page of the report.

B.6. Aboriginal cultural heritage

Aboriginal heritage also includes places associated with stories of traditional activity known to local Indigenous people. The places may include natural features such as large rock formations, waterholes, and particular shaped trees.

Aboriginal sites (both known and unknown) and areas of significance are an important part of Australia's cultural heritage. The sites and areas of significance provide a direct link for Aboriginal people with their culture. It is important to preserve as many of them as possible.

Objectives

1. Identify Aboriginal heritage at the earliest possible stage in the development process.
2. Ensure reasonable steps are taken to consider if Aboriginal cultural heritage may be present and avoid harm to that heritage.

Controls

- a. An Aboriginal Due Diligence Report may be required for any development within 200m of a waterbody or on a ridge line.

B.7. Utilities and services

Objectives

1. Ensure that non-urban subdivisions are provided with adequate essential services having regard to their location and intended use.
2. Ensure the construction of utility services/infrastructure provision occurs in a logical and staged manner, and in sequence with development.
3. Encourage innovative and sustainable utility and servicing across Gunnedah to promote effective and efficient delivery of services. Ensure utilities designs and locations consider space for alternative future services.

Controls

- a. A servicing strategy is required with all development applications to demonstrate that availability and feasibility of providing water, sewer and stormwater services appropriate for the scale of the development.
- b. All buildings and structures are to be located clear of utility infrastructure.
- c. For sewer mains, structures are not to be located over an easement. Where a structure is proposed in proximity to a Council sewer main or other infrastructure, all design and construction shall be in accordance with Council's Building over Sewer Policy.
- d. Details of water supply are to be provided with the development application. If available, connection to potable water supply is required. Where no potable water supply is available, minimum tank storage of 60,000 litres is required, excluding any water required for firefighting purposes.

- e. Water tanks are to be located behind the street setback of the existing or proposed dwelling (unless placed below the ground). The maximum height of a water tank is 3.2 metres in urban zones. Suitable screening shall be provided where visible from a public place or street. Above ground water tanks shall be of a non-reflective material and located and suitably landscaped so as to minimise their visual impact.

Explanatory Notes

Development application requirements

Dual occupancy and multiple dwelling developments within villages without a reticulated water supply and/or sewer service will be processed on individual merit, and advice should be sought from the Council on its requirements.

Stormwater arrangements should be designed to a gravity system. Details of any stormwater detention systems are to be provided with the development application.

For commercial and retail development, applications must demonstrate adequate provision for storage and handling of solid wastes. Liquid Trade Waste Application and facilities are required where liquid wastes (excluding domestic waste from a hand wash basin, shower, bath or toilet) are to be discharged to Council's sewerage system.

B.8. Waste and recycling

Waste can be a resource or a problem depending on how we produce, consume, store and dispose of resources.

Waste and recycling need to be considered at all stages of a development, from planning, construction to ongoing use and demolition. Innovative and alternate waste management systems for development applications which deliver sound planning and environmental outcomes for the development and the broader community are supported.

Objectives

1. Building designs and construction techniques should minimise waste generation.
2. Ensure waste management and mitigation at demolition, construction and operation stages are designed to provide satisfactory amenity for occupants.
3. Provide innovative and best practice waste management collection systems and technologies for reuse, recycling, organics collection and product stewardship.
4. Ensure that development incorporates waste management systems that are efficient and capable of handling the forecasted waste generation.

Controls

- a. A Waste Management Plan must be provided for all development requiring construction works on site. The level of detail in the plan will reflect the scale of development being undertaken but will generally include details of:
 - i. The volume and type of waste to be generated.
 - ii. How waste is to be stored and treated on site.

- iii. How and where residual material is to be disposed.
- b. Where possible the development must optimise recycling to reduce waste to landfill.
- c. Provide adequate space within each dwelling for the interim storage of general waste and recycling collection bins where kerbside collection services are available.
- d. The design and location of waste storage areas and collection for retail, industrial and commercial uses are an integral part of the development and must:
 - i. be of sufficient size to accommodate all ongoing waste generation associated with the development.
 - ii. complement the public domain.
 - iii. avoid potential noise, hygiene, odour, pollution, traffic, as well as health and safety impacts.
 - iv. be convenient to use and easily accessed (occupants and waste collectors).
 - v. be protected from theft, vandalism and vermin.
 - vi. are flexible in their design to allow for future changes in the operation, tenancies and uses.

Explanatory Notes

Documents to be referred to

Waste Avoidance and Resource Recovery Strategy, EPA

Better practice guide for resource recovery in residential developments 2019, EPA.

Development application requirements

The Waste Management Plan must be accompanied by drawings with specific details showing:

- ii. On site sorting and storage areas.
- iii. Access for collection vehicles.
- iv. Vegetation to be removed or retained.

B.9. Noise and vibration

Objectives

1. Ensure noise and vibration do not adversely impact human health and amenity.
2. Ensure building design adequately protects workers and surrounding receivers from noise and vibration.

Controls

- a. Any machinery or activity considered to produce noise emissions from a premise shall be adequately sound proofed so that the development is consistent with the requirements of the Noise Policy for Industry.

- b. In industrial development, windows, doors and other wall openings shall be arranged to minimise noise impacts on residences where proposed within 400m of a residential zone.
- c. External plant (generators, air conditioning plant, etc.) shall be enclosed to minimise noise nuisance where adjoining a residential area.

Explanatory Notes

Documents to be referred to

Noise should be assessed in accordance with Noise Policy for Industry (EPA, 2017) and NSW Road Noise Policy (Department of Environment, Climate Change and Water, 2011).

Development application documentation

An Acoustic Report by a qualified acoustical engineer must be submitted where proposed development, including traffic generated by that development, will create noise and/or vibration impacts, either during construction or operation, that impacts on adjoining developments or nearby rural-residential areas. The Acoustic Report should outline the proposed noise amelioration strategies and management methods and how compliance is achieved.

Acoustic Reports for individual developments must assess cumulative noise impacts, including likely future noise emissions from the development and operation of the Precinct. The consultant should liaise with the relevant consent authority to determine acceptable amenity goals for individual industrial developments and background noise levels.

B.10. Crime Prevention Through Environmental Design (CPTED)

CPTED stands for Crime Prevention Through Environmental Design. CPTED is about designing and managing buildings and places so as to minimise opportunities for criminal activity. It is based on the idea that if we increase the chance of criminals being seen, challenged, or caught, or we increase the effort required to commit a crime, then it is possible to reduce the actual or perceived rewards of crime and create safer communities. CPTED is based around four principles: surveillance, access control, territorial reinforcement, and space management.

Objectives

1. Ensure maximum casual surveillance of developments from the street and other public areas, and, of the street or public areas from those developments.
2. Control access to developments through appropriate physical barriers – thereby increasing the effort required to commit a crime.
3. Minimise the opportunity for criminal activity, through the appropriate environmental design of buildings and places.

Controls

- a. Buildings are to be designed to overlook streets and other public areas to provide casual surveillance.

- b. Pedestrians and cycle thoroughfares are to be reinforced as safe routes through:
 - i. appropriate lighting;
 - ii. casual surveillance from the street;
 - iii. minimised opportunities for concealment;
 - iv. landscaping which allows clear sightlines between buildings and the street; and
 - v. avoidance of blind corners.
- d. Industrial and Commercial Developments proposing to operate between 8pm and 6am shall include a light spill plan.

Explanatory Notes

Documents to be referred to

Applicants must demonstrate compliance with the principles of Crime Prevention through Environmental Design (CPTED) when submitting development applications. These principles can be viewed at: http://www.police.nsw.gov.au/safety_and_prevention/policing_in_the_community/safer_by_design

Discretion rests with the Council as to which development applications will be referred to the NSW Police Service for comment; or jointly reviewed by Police and Council for crime risk depending on the size and nature of proposals and their likely impact on community safety.

B.11. Advertising/Signage

This section applies to all land where the erection or placement of an advertising sign or structure is permissible under the provisions of Gunnedah Local Environmental Plan.

Chapter 3 of State Environmental Planning Policy (Industry & Employment) 2021 (Industry and Employment SEPP) includes specific provisions to regulate signage ensuring that it is consistent with the character and does not detract from an area. The provisions apply to all signage visible from a public place. A development application for signage should reference the assessment criteria in Schedule 5 of the Industry and Employment SEPP.

Council will not permit the following signage:

- » Electronic trailer mounted road signs used for promotional or advertising purposes.
- » A roof or wall mounted sign projecting above the roof or wall of the building to which it is affixed.
- » Flashing or intermittently illuminated signs (other than those within a shop window).
- » Advertisements on parked motor vehicles or trailers (whether or not registered) for which the principal purpose is for advertising where it can be demonstrated that it will not be distracting to motorists, cyclists or pedestrians.
- » Signs fixed to trees, lights, telephone, or power poles.
- » Signs which could reduce road safety by adversely interfering with the operation of traffic lights or authorised road signs.
- » Any sign which would in the opinion of Council, be unsightly, objectionable or injurious to the amenity of the locality, any natural landscape, public reserve or public place.
- » Numerous small signs and advertisements carrying duplicate information.

- » Overhead banners and bunting, except in the form of temporary advertisement.

Objectives

1. Ensure that all signage and advertising achieve a high level of design quality and does not detract from the visual quality of the public domain.
2. Signs are to be structurally safe and well maintained.
3. Minimise visual clutter and the unnecessary proliferation of signage and advertising.
4. Ensure temporary signage does not adversely affect public safety or access to public land and roads.
5. Encourage relevant and appropriate signage which contributes to the streetscape.

Controls

B.11.1. Above awning signage

Above awning signage is a general term used to describe the following types of signs:

- » Flush wall sign (attached to the wall of a building above awning level and not projecting more than 0.3 metres from the wall).
- » Projecting wall sign (attached to the wall of a building above awning level and projecting horizontally from the wall).
- » Roof sign (erected on or above the roof, parapet or eaves of a building).



Figure 1 - Above awning signage

- a. Above awning signage should, where possible, be flush wall signage, and should be:
 - i. located at first floor level where the building is more than one level, and
 - ii. located a minimum 1m from the top of the awning level to maintain consistency.
- b. Above awning illuminated signage is not permitted to be affixed to the external wall of shop top housing.

B.11.2. Under awning signage

Under awning signage means a sign attached to the underside of an awning. Under awning signage is permitted in all areas where there are awnings.

The following controls apply to under awning signage:

- a. Be a similar size to the predominant type of under awning sign in the area and located so as not to affect pedestrian safety or road users.
- b. Be located a minimum of 3 metres apart to ensure visibility for pedestrians.
- c. Not extend beyond the edge of the awning.
- d. Be limited to one sign per property street frontage.

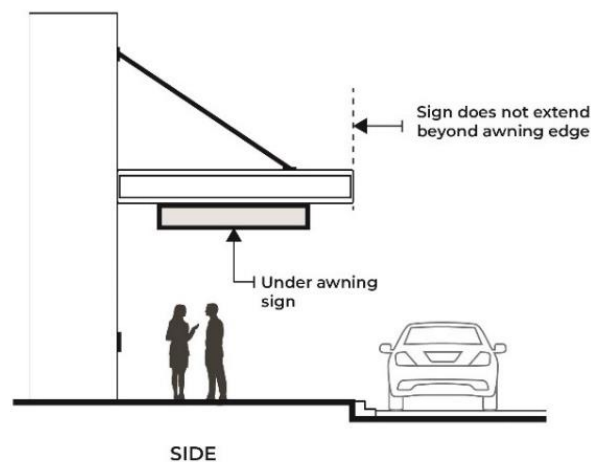


Figure 2 - Under awning signage

B.11.3. Hamper signs

Top hamper signage means a sign attached to the transom of a doorway or display window of a building. Top hamper signs are a common and effective form of signage used to identify a business. Top hamper signs are appropriate in all business and industrial areas. Top hamper signs should include predominantly first party signage, with only a minor amount of second party content.

- a. Third party signage should not form part of top hamper signage proposals.
- b. One top hamper sign is permitted per property street frontage.
- c. The maximum dimensions of top hamper signage should not exceed beyond any wall / boundary and below top of door / window head.

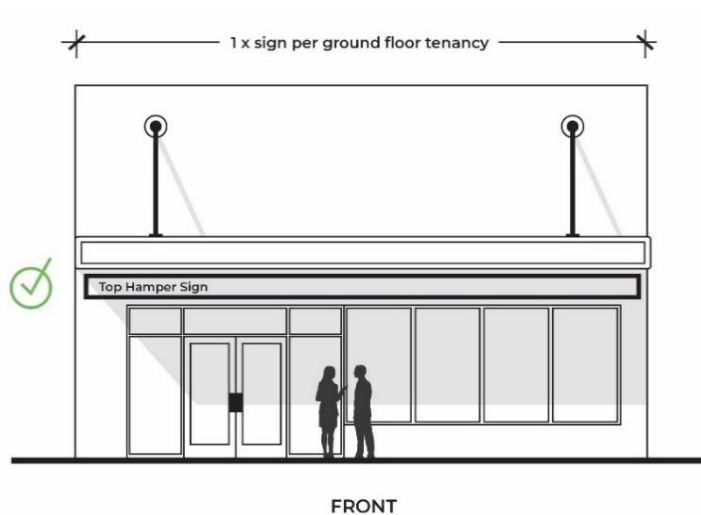


Figure 3 - Hamper sign

B.11.4. Fascia signs

Awning signage is also referred to as fascia signage and means an advertisement that is attached to the fascia or return of an awning.

- Awning signage should be contained entirely within the dimensions of the awning and tenancy on which it is located.
- Awning signage should generally not exceed a vertical dimension that is 500mm high.
- Awning signage should not extend beyond the vertical projection of the kerb line where the awning width matches the width of the footpath.

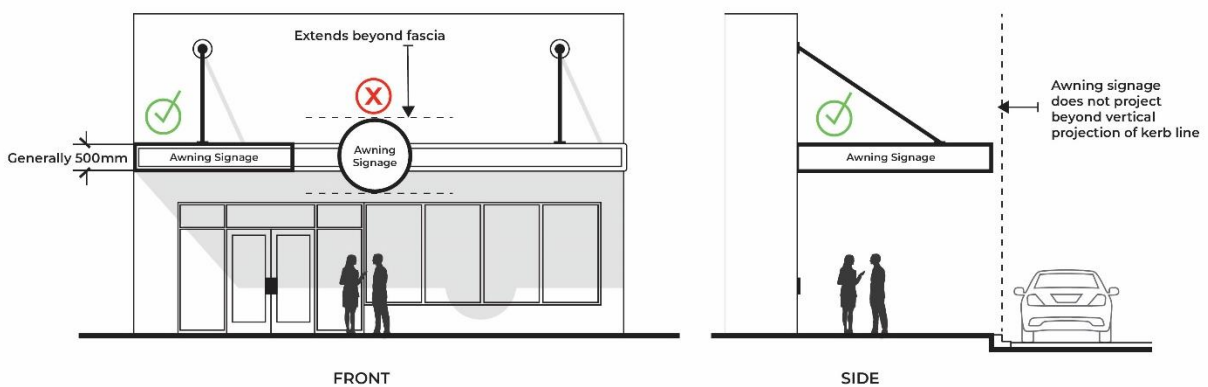


Figure 4 - Fascia sign

B.11.5. Pylon and pole signage

Pylon and pole signage means an advertising structure erected on a pylon or pole which is independent of any building or other structure. Pylon and pole signage is appropriate in commercial and industrial areas with wide street verges and where buildings are more widely separated from one another.

- Pylon and pole signage should be designed to reflect the scale of the building to which it relates and surrounding buildings, and the streetscape characteristics of the area.
- Pylon and pole signage should be contained wholly within the site and must not overhang any public space or land.
- Pylon and pole signage should be limited to one sign per property street frontage with a minimum height of 2.6m above the ground.
- Pylon and pole signage is to be in accordance with the relevant Australian Standards and should be structurally sound and able to withstand the relevant wind loads.

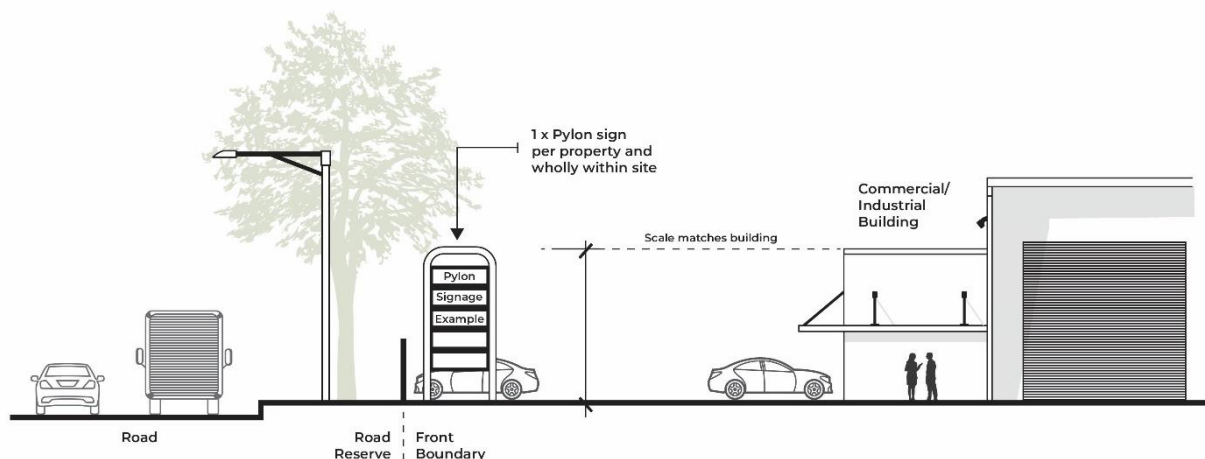


Figure 5 - Pylon and pole sign

B.11.6. A-Frame signs

A-Frame signs are free standing, mobile signage. A-Frame signs are subject to approval under Gunnedah Shire Councils Footpath Occupation Policy.

B.11.7. Wall signs

A sign attached to the side or front wall of a building and not projecting more than 100mm from the wall surface.

- The wall sign should not exceed 20% of the total area of the wall on which it is fixed or painted.
- The sign must not protrude above or beyond the wall onto which it is fixed.
- The face of the sign must be parallel to the wall to which it is attached.
- The proposed wall sign should not obscure an architectural feature.

B.11.8. Signs in commercial areas

- No signage permitted above the awning on the parapet wall unless it is one business identification sign and designed with building refurbishment.

B.11.9. Signs in residential areas

Signs for home business should not dominate the street, building or yard in which they are located.

- b. Sign location should be either attached to the wall of the building or adjacent to the front boundary/fence and parallel or perpendicular to the street. It should not cover any window, door or architectural feature.

B.11.10. Signs in rural areas

Signs displayed in rural or non-urban areas should be proportionate to the use or business to which they relate.

- a. Signage must relate to the purpose for which the land or premises is or are used or relate to a business being carried out on the land.
- b. The signage shall be internally lit.
- c. Advertising signs shall be located on private land, not in the road reserve.
- d. For business identification signage, there is a maximum of one sign only per site.
- e. Maximum height of 2.5m.
- f. The maximum area of the sign should not exceed 5m²
- g. The sign must be set back a minimum of 3m where on the corner or intersection with a public road.

B.11.11. Tourism and other directional signage

Tourist related development includes places of scientific historical or scenic interest within the area and includes accommodation and other businesses catering for tourists. These are post supported or wall structures located at the front of the site with the express purpose of identifying the business or facility to the travelling public.

- a. Post supported structures maximum height of 3m above ground level or with an advertising area of not more than 3m² - with typical dimensions being 1.2m x 2.5m.
- b. Identification signs must relate to a lawful or approved use of the land and be located on private land, not in the road reserve.
- c. The size, colour and shape of the signs will generally be left to the discretion of the business but should not include the use of bright or fluorescent colours or highly reflective or illuminated materials.
- d. Each property shall be allowed two Identification signs (which may be double sided). In circumstances where the property has two road frontages Council will consider a third sign on the secondary frontage where that frontage has a minimum of 250m.
- e. In circumstances where there are two or more businesses operating from a site, Council will consider increasing the maximum sign face area from 3m² to 4m².

B.11.12. Entrance signs

- a. Signs can be incorporated into the primary entrance of the site and may include fencing or walls.

- b. Advertising incorporated into the entrance structure is restricted to the name of the premises. In circumstances where the business operates after sunset, Council will consider low intensity external illumination of entrance signage.

PART C - RESIDENTIAL DEVELOPMENT

This part outlines the requirements for residential development where permissible in residential and village zones under Gunnedah Local Environmental Plan and applies to the R2, R3, R5 and RU5 zones when considering residential development.

C.1. Dwelling house

The building design includes the placement of the building within the lot, setbacks, privacy and open space. For the purpose of the GDCP a primary dwelling is considered a dwelling house.

Objectives

1. The building form, building design, setbacks and landscape of dwelling houses are compatible with the prevailing suburban character of the residential areas.
2. Maintain or enhance streetscape character through the continuity of street facades.
3. The building form and building design of dwelling houses do not adversely impact on the amenity of neighbouring sites in terms of visual bulk, access to sunlight and privacy.
4. The size, location and design of private open spaces is to provide appropriate amenity to residents in terms of useability, access to sunlight, privacy and landscape.
5. Minimise the visual impact of off-street parking on the streetscape.

Controls

C.1.1. Setbacks

- a. The minimum building setbacks are to comply with the setback requirements shown in **Tables 2 and 3**
- b. No clothes drying areas are to be located within the front setback.

Table 2 - Building Setbacks

	R2	R3	RU5
Primary Frontage	6.5m or the average of the adjoining dwellings whichever is less	4.5m or the average of the adjoining dwellings whichever is less	6.5m or the average of the adjoining dwellings whichever is less
Side and rear	0.9m or compliance with the BCA [^]	0.9m or compliance with the BCA [^]	0.9m or compliance with the BCA [^]
Secondary Frontage (corner lots or parallel lots)	3m for a building wall and 5.5m for a garage or carport that is attached to the building wall	3m for a building wall and 5.5m for a garage or carport that is attached to the building wall	3.6m
Garage	Min. 1m behind the front building line	Min. 1m behind the front building line	Min. 1m behind the front building line

Articulation*	0.5m for up to 10% of the building frontage	0.5m for up to 10% of the building frontage	0.5m for up to 10% of the building frontage
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*Articulation Building - articulation refers to the manner in which the building surfaces, edges, corners and materials unit to form the building. Elements of articulation include treatment to porches, balconies, doors, windows, roofs, materials and other architectural details. In highly articulated buildings each part clearly stands out.

^BCA – Building Code of Australia, Volume 2. Setbacks less than 900mm will be considered where the fire rating satisfies the requirements of the BCA.

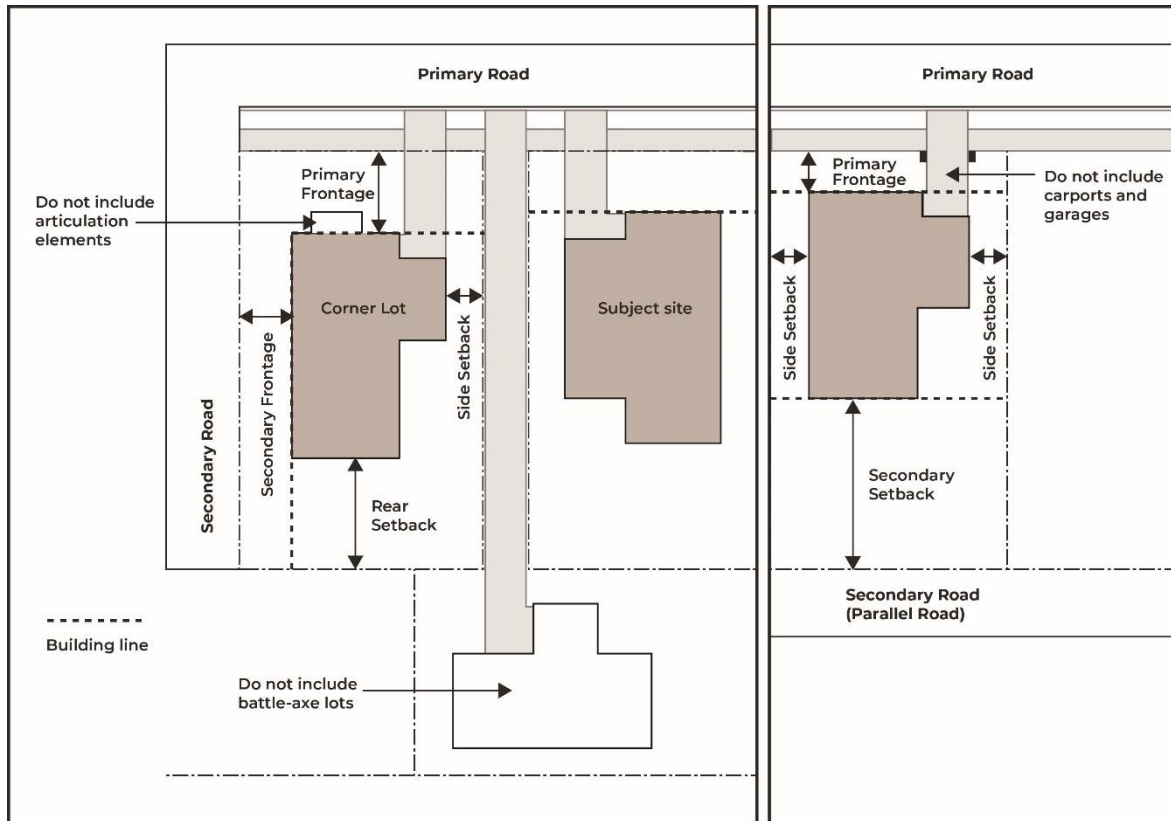


Figure 6 - Setbacks

Table 3 - Building Setbacks R5

Setback distance (m)	Lot Size as per the Lot Size Map in the LEP	
	0-6500m ²	equal to or > 9000m ²
Primary Frontage	10m	15m
Side and rear	2m	5m
Secondary Frontage (corner lots)	10m	10m
Sheds and detached garages	Set back behind the building line	Set back behind the building line

C.1.2. Visual privacy

- a. Where development proposes a window that directly looks into the living area or bedroom window of an existing dwelling that is not capable of being screened by a boundary or side fence, the development must:
 - i. offset the windows between dwellings to minimise overlooking; or
 - ii. provide the window with a minimum sill height of 1.5m above floor level; or
 - iii. ensure the window cannot open and has obscure glazing to a minimum height of 1.5m above floor level; or
 - iv. use another form of screening to the satisfaction of Council.
- b. Where development proposes a window that directly looks into the private open space of an existing dwelling, the window does not require screening where:
 - i. the window is to a bedroom, bathroom, toilet, laundry, storage room, or non-habitable room; or
 - ii. the window has a minimum sill height of 1.5m above floor level; or
 - iii. the window has translucent glazing to a minimum height of 1.5m above floor level; or
 - iv. the window is designed to prevent overlooking of more than 50% of the private open space of a lower-level or adjoining dwelling.

C.1.3. Public road design

The public road servicing the subject allotment is to comply with the following;

- a. The alignment, width and design standard for all roads shall be in accordance with the expected traffic volume, type of traffic and desired speed in accordance with Council's Engineering Design Minimum Standards.
- b. Kerb and gutter is required for subdivision where the Lot Size Map specifies a minimum lot size of up to and including 3000m².
- c. Sealed pavement will be required where the Lot Size Map specifies a minimum lot size of up to and including 10 hectares.
- d. The requirement for sealed pavement and/or kerb and gutter does not relate to development in the RU5 zone. The road construction standard shall be based on the existing condition of the surrounding network, speed zones and volume of traffic expected.

C.1.4. Internal driveway, access and parking

- a. Access from the public road to the property boundary to comply with Council's standard access drawings (relevant to the type of development) and the dimensions are to meet Australian Standard AS2890 Series.
- b. All internal vehicle access, and manoeuvring areas to the designated parking area (including the designated parking area), are to be concrete, bitumen, interlocking pavers or asphalt.
- c. For land zoned R5 with a minimum lot size between 9000m² and 40ha, RU1, RU4, RU5, RU6 and E3 an alternative access material may be utilised. The alternative material shall enable all weather 2WD access and dust suppression.
- d. Multiple vehicle access points and laybacks are not permitted, will generally only be considered in circumstances where the lot has two road frontages.

C.2. Secondary dwellings

Secondary dwellings are also referred to as “granny flats”. Clause 5.4 of the GLEP supports secondary dwellings associated with a primary dwelling where the total floor area of the secondary dwelling does not exceed 60m² or 25% of the total floor area of the principal dwelling, whichever is greater.

Objectives

1. The building form is subservient to the principal dwelling on the same site in terms of visual bulk and scale.
2. The building form, building design, room sizes and internal layout of secondary dwellings provide appropriate amenity to residents in terms of private open space, access to sunlight, privacy, landscape and useability.
3. The building form and building design of secondary dwellings do not adversely impact on the amenity of neighbouring sites in terms of visual bulk, access to sunlight and privacy.

Controls

C.2.1. Setbacks

Refer to section C.1.1 above.

C.2.2. Private open space

Secondary dwellings that are visually screened from the principal dwelling must provide a minimum of 15sqm of private open space directly accessible from the living area and with a minimum depth of 3m.

C.2.3. Visual privacy

Refer to section C.1.2 above.

C.2.4. Internal driveway, access and parking

Refer to section C.1.4 above.

C.3. Dual Occupancy & multi dwelling housing

Dual occupancy is the development of two dwellings on a single lot of land whether attached or detached. Multi dwelling housing is a development of three or more dwellings on a single lot of land. Dual occupancy development is permissible in the R2, R3, R5 and RU5 zones. Multi dwelling housing is permissible in the R3, MU1 and RU5 zones.

Objectives

1. The building form, building design, setbacks and landscape of dual occupancies and multi dwelling housing are compatible with the prevailing suburban character of the residential areas.
2. The building form, building design, room sizes and internal layout provide appropriate amenity to residents in terms of private open space, access to sunlight, privacy and useability.

3. The size, location and design of private open spaces provide appropriate amenity to residents in terms of useability, access to sunlight, privacy and landscape.
4. Minimise the visual impact of off-street parking on the streetscape.
5. Development must have reasonable access to sunlight and must not unduly impede solar access to the adjoining dwellings.
6. Dwellings are to be positioned to maximise solar access to living areas.

Controls

C.3.1. Setbacks

Refer to the controls in section C.1.1.

C.3.2. Private open space

- e. Private Open Space (POS) is to be provided in accordance with **Table 4**. POS must be directly accessible from a living area and screened from view from a public place, adjacent dwellings and adjacent common open space within the development.
- f. Where POS cannot be provided behind the front or side building line, details of fencing is to be included with the development application.

Table 4 - Private open space - Residential

	Minimum amount*	Minimum dimension
Dual Occupancy	One area at least 25sqm 60sqm total per dwelling	5m x 5m
Multi dwelling housing	One area at least 25sqm 40sqm total per dwelling	4m x 4m

** This may be in the form of a single area or a sum of areas per dwelling. The area calculation excludes drying areas, electricity substation, water tanks, hot water systems, retaining walls.*

C.3.3. Access to sunlight

- a. The design of dual occupancies and multi dwelling houses must ensure:
 - i. Shadow diagrams are required for developments of two (2) or more storeys and need to demonstrate that habitable rooms of adjoining dwellings and major parts of their landscaped open space are able to retain a minimum of four (4) hours of sunlight between 9am – 3pm on 21st June (winter solstice).
 - ii. Shadow diagrams must include:
 - Location, size, height and window openings of buildings on adjoining properties;
 - Existing shadow-casting structures such as fences, carports, hedges, trees etc; and
 - Topographical details, including sectional elevations where land has any significant slope.

C.3.4. Visual privacy

Refer to section C.1.2 above.

C.3.5. Building design

- a. The design of dual occupancies must ensure:
 - i. The street facade of dual occupancies (attached) adopts an asymmetrical design to provide each dwelling with an individual identity when viewed from the street; or
 - ii. The street facade of dual occupancies (attached) or dual occupancies (detached) incorporate architectural elements that are compatible with the asymmetrical appearance of neighbouring dwelling houses, particularly where a pattern is established by a group of adjoining dwelling houses; and
 - iii. the front porch and one or more living area or bedroom windows to each dwelling face the street; and
 - iv. the garage, driveway and front fence do not dominate the front of the building and front yard; and
 - v. the two dwellings on a corner site each face a different frontage.

C.3.6. Landscaping

- a. Development must retain and protect any significant trees on the site and adjoining sites.

Note: To achieve this clause, the development may require a design alteration or a reduction in the size of the dual occupancy.
7. A minimum of 45% of the area between the dual occupancy and the primary frontage and 45% between the dual occupancy and the secondary frontage is required to be landscaped.

C.4. Outbuildings, carports and detached garages

Objectives

1. The development of outbuildings is to be proportionate to the intended use.
2. Outbuildings should not unreasonably detract from the amenity of the area.

Controls

- a. An outbuilding is not permitted on vacant land unless development consent has been granted and activated for a dwelling.
- b. If the outbuilding, carport or detached garage is in front of a residential development, on a lot with an area less than 4,000m², it must be:
 - i. Constructed of the same external materials to the residential development; and
 - ii. Have a matching roof profile (e.g., skillion, pitched) to the residential development.
- c. The wall cladding of outbuildings and detached garages shall be either face brick, painted or pre-coloured.
- d. Shipping Containers that require approval are considered within this development control plan as an outbuilding. Further controls are detailed in H.3.

- e. An additional 50m² of cumulative building area is permitted for detached garages or detached carports where no garage or carport is attached to the dwelling.

Table 5 - Outbuildings, carports and detached garages zoning requirements

Zone	**Cumulative buildings (total floor area of all outbuildings)	Max. Height
R2, R3 & RU5	72m ²	4.8m
R2, R3 and RU5 with lot area $\geq 900\text{m}^2$	100m ²	4.8m
R5* Min Lot $\leq 3000\text{m}^2$	100m ²	4.8m
R5* Min Lot $>3000\text{m}^2 \leq 1.2\text{ha}$	150m ²	5m
R5* Min Lot $>1.2\text{ha} - \leq 40\text{ha}$	200m ²	5m

* In Zone R5, size of outbuildings, carports and detached garages vary dependent upon the minimum lot size noted on the Lot Size Map

** Cumulative building area is not to include any structures having been constructed as exempt development under any Environmental Planning Instrument. Council may reserve the right to request confirmation of exemptions followed at the time of construction.

Note: Carports attached to a dwelling are not included in the calculation of the cumulative building size.

Additional controls for the R2, R3 and RU5 zones

- Outbuildings and Garages must be setback a minimum of 5.5 metres from the primary and secondary building frontage.
- Carports must be setback a minimum of 1.5 m from the primary and secondary building frontage. Carports are to be open and not include a solid wall on the front or side elevation.
- Roof profiles shall compliment the concessional setback and the architectural articulation component within the elevation.
- The maximum length of the longest side of outbuildings, carports and detached garages in the R2, R3 and RU5 zones and on lots with an area equal to or less than 1,000m² may be no more than two-thirds of the length of the property boundary to which the longest side is parallel/adjacent.

C.5. Stormwater

Objectives

- Stormwater associated with residential development must be managed to prevent an impact on neighbouring land.

Controls

- All stormwater systems shall be designed and constructed in accordance with Council's Engineering Design Minimum Standards.

C.6. Retaining walls and fill

Objectives

Minimise the disturbance to the existing topography and the impact on adjoining neighbours.

Controls

- a. Retaining walls must be located wholly within the property boundary.
- b. Retaining walls should be constructed so as to minimise the height. This can be achieved by stepping retaining walls up a slope.
- c. Development on sloping sites should be designed to minimise cut and fill, allowing the building to respond to the slope of the land via use of split levels, or detached portions stepped down the slope.
- d. Engineering details will be required for retaining walls with a height greater than 600mm or that are within 1m of property boundary.

C.7. Pools and spas

Objectives

1. Minimise the impact of pools and spas on adjoining development.

Controls

- a. Pools and spas are to be positioned, including fencing, behind the building line.
 - b. Where visible from a public place or road, details of screening are to be supplied with the development application.
 - c. Applications that include any associated retaining walls or decks that exceed 1.0 metre above the natural surface level, shall include details of proposed landscaping to reduce visual impact on adjoining properties.
2. The pool pump is to be placed greater than 15 metres from a habitable room in a dwelling on adjoining property or within a sound-proof enclosure.

PART D - RURAL RESIDENTIAL DEVELOPMENT

The section deals with the development on land zoned RU1 Primary Production, RU4 Primary Production Small Lots, RU6 Transition and C3 Environmental Management.

D.1. Rural access

Objectives

1. Ensure vehicles can enter and exit properties in a safe manner.
2. Vehicle entrances are to be sited in safe locations.

Controls

- a. Vehicular entrances are located with safe intersection sight distance in both directions. Where not practical, vehicular entrances are located with safe stopping distance available in both directions.
- b. Gates are to be located with sufficient setback to allow the design vehicle to wait without presenting a hazard to through traffic. Unless stated otherwise, the design vehicle shall be a 12.5m heavy rigid vehicle.
- c. Landscaping, mailboxes, fences and other structures, where located near driveway crossings, are not to compromise safety aspects such as sight distances for all road users.
- d. Accesses to be designed as per the GSC Engineering Design Minimum Standards.

D.2. Dwellings & dual occupancy (attached)

In rural areas it is particularly important that consideration is given to the siting of dwellings and outbuildings to minimise land use conflicts.

Objectives

Minimise land-use conflict potential and respect the rights of adjoining properties to use the land for agriculture.

Controls

- a. Dwelling houses and ancillary structures shall have the following minimum setbacks from a road frontage.

Table 6 - Setbacks

Zone	Primary Frontage/Secondary Frontage	Side and Rear Setback
RU1/RU4/RU6/C3	25m (sealed road) 200m (unsealed road)	10m

- b. The building must not be positioned within 10m from on the top of a hill or a ridgeline.
- c. Development on sloping sites should be designed to minimise cut and fill, allowing the building to respond to the slope of the land via use of split levels, or detached portions stepped down the slope.

D.3. Farm buildings and outbuildings

Objectives

The placement of rural buildings on the site is appropriately located.

Controls

- a. Farm buildings and sheds shall not exceed 7m in height where the site has an area of less than 10ha.
- b. Wherever possible farm buildings should be co located with other buildings on the land holding in order to minimise visual impact.
- c. Access to farm buildings from the public road network should be via an existing legal access. An alternate access will be considered if the existing access is unsuitable.
- d. Stormwater from farm buildings must be disposed of in a manner that does not cause erosion or nuisance, 3m clear of any buildings and away from adjoining properties.
- e. Development must not alter the drainage patterns or increase stormwater velocities, sediment or nutrient loads.
- f. All buildings should be set back a minimum of 25m from the front allotment boundary or behind the building line set by the dwelling whichever is greater.
- g. Buildings should be set back a minimum of 10m from a side and rear allotment boundary.

D.4. Agritourism

Objectives

1. Allow for tourism and related commercial uses at a scale that does not adversely affect the principal use of land for primary production.
2. Farm gate premises and farm experience premises should not detract from existing environmental values, scenic values, infrastructure and adjoining land uses.
3. Protect the amenity and privacy of adjoining properties, including visual and acoustic privacy, from farm gate premises and farm experience premises.
4. Provide for the sale of locally grown and manufactured produce in appropriate rural locations.
5. Provide services and facilities for visitors and guests on the property, including accessible facilities.
6. Manage the number of visitors to a landholding to address cumulative effects of traffic on roads.

Controls

- a. The gross floor area of a building (or part of a building) for farm gate premises or farm experience premises is not to be more than 250m².
- b. The total footprint of all buildings used for farm gate premises and farm experience premises on the landholding is not to exceed 500m².
- c. The height of a building for farm gate premises or farm experience premises is not to exceed 8.5 metres.

- d. The maximum number of visitors to farm gate or farm experience premises is not to exceed 150 on a landholding at any one time (*excluding visitors participating in fruit and produce picking*).
- e. The maximum number of events per year where there is amplified noise after 6pm will be determined on merit and subject to a noise impact assessment.
- f. Adequate toilet facilities are to be provided. At least one toilet must be a unisex accessible toilet.
- g. Amplified noise for farm gate premises and farm experience premises must not exceed a maximum of 35dB(A) at the property boundary of the closest residential dwelling.

D.5. Farm stay accommodation

Objectives

To diversify the uses of agricultural land for tourist-style accommodation without adversely impacting the principal use of the land for primary production.

Controls

- a. Farm stay accommodation is to be on a landholding that has an existing dwelling or satisfies the minimum requirements for the erection of a dwelling on the land.
- b. Farm stay accommodation, including moveable dwellings, is limited to:
 - i. a maximum of 20 guests at any one time on a landholding, and
 - ii. a maximum stay for guests of 21 consecutive days.
- c. Where mains water is not available, potable water is to be provided.

D.6. Intensive agriculture and rural industry

Objectives

1. Industries are compatible with the rural environment.
2. Minimise any adverse impacts on the amenity of surrounding lands.

Controls

- a. All potential stationary noise, odour, dust or spray drift sources are to be sited as far away as possible from common property boundaries and sensitive uses such as dwellings (not in the same ownership) and having regard to prevailing winds.
- b. Development applications should detail what noise attenuation or abatement measures are proposed to ensure that the development satisfies the NSW EPA Noise Policy for Industry.
- c. All outdoor lighting fixtures should be designed, installed, located and maintained to avoid light spill or glare on to adjacent properties.
- d. Buildings are to be designed, sited or have neutral or earth tone/non reflective colours so as to not have a significant impact on the rural landscape, amenity and agricultural productivity of rural areas.
- e. Outdoor storage yards are to be screened from roadways and neighbouring dwellings.

- f. Details should be provided in relation to weed management, vermin control; biosecurity issues, crop residues, unsaleable produce, mass mortality incidents or used growing media as relevant to the proposal.
- g. Consideration should be given to transport to and from the site, including whether there are appropriate roads and load bearing bridges or whether access is via a residential area.
- h. Setbacks are to be in accordance with **Table 7**. Minimum side and rear setbacks vary depending on the minimum lot size as determined by the GLEP.
- i. Minimum separation distances from dwellings for building, structure or operational area associated with a rural industry shall provide the separation distances as shown in Table 8.

Table 7 - Setbacks rural buildings

Setbacks for rural industry buildings and storage areas	Min Setback
Primary Frontage	50m
Side and rear setback	
Minimum Lot Size of	
<20 ha	15m
20 -100 ha	25m
>100ha	50m

Table 8 - Minimum separation distances

Rural activity	Separation distance from dwellings
Agricultural produce industries	500m
Intensive livestock industries	500m
Livestock processing industries	1000m
Rural industry (mechanical repair, etc)	150m
Stock and sale yards	500m

Explanatory Notes

Document to refer to

Planning Guidelines - Intensive Livestock Agriculture Development, Department of Planning and Environment 2019

Primary Production and Rural Development SEPP

NSW EPA Noise Policy for Industry

Development application documentation

When lodging a development application, the following information is to be provided:

- » site analysis
- » a description of the proposed rural industry, including the following:

- the hours of operation
 - the number of employees
 - the expected noise levels and noise source
 - the number of vehicle movements per day
 - the management of waste and wastewater
 - the source and amount of water to be used
 - if an agricultural produce industry is to be developed, whether produce will be sold from the property or whether a restaurant or café is intended
 - plans of the proposed development including all buildings, open space areas, car parking, loading and unloading areas, entrances and internal roads.
- » a landscaping plan detailing the following:
- any existing vegetation to be retained, relocated or removed
 - paved and grassed areas
 - planting scheme including trees, shrubs, grasses and groundcovers
 - water and maintenance schedules including drip irrigation and mulching details

PART E - COMMERCIAL DEVELOPMENT

Business and commercial centres service the retail and commercial needs of residents. However, they also provide a range of other functions imperative to economic, social and environmental health. Commercial and business uses provide opportunities for social interaction and engagement, recreation and entertainment. This occurs formally in designated venues such as hotels, cafes and restaurants and informally and spontaneously on the street, in public places and shopping centres.

This chapter of the GDCP relates to any **business, retail and commercial use** across the Shire, and also specific controls within the Gunnedah CBD.

E.1. Building setback

Objectives

Promote street activation which encourages pedestrian traffic and ensures a safe and accessible environment.

Controls

- a. No minimum setbacks are specified. The setback should be justified based on its location, adjacent uses and circumstance.
- b. Side and rear setbacks must allow for adequate servicing of the development and meet the Building Code of Australia requirements.
- c. Activated street edges are to be provided at the interface to the public domain at ground level.

E.2. Design of buildings

Objectives

1. All buildings should be of good quality design and functional, and the development responds to its context and makes a positive contribution towards the desired streetscape.
2. Provide shade and weather protection over public footpaths in commercial centres or other pedestrian-oriented locations.

Controls

E.2.1. Building façade and elevations

- a. Building facades shall be articulated by use of colour, arrangement of elements or by varying materials.
- b. Building elevations/facades should have reduced bulk and scale and provide for façade treatments, roof lines, openings, recess and windows, as well as colours and materials suitable for the location.
- c. Large expansive blank walls are not permitted unless abutting a building on an adjoining allotment.
- d. All external infrastructure (including air conditioning units, plant rooms, ducting) must be screened from view from a public road and placed at the rear or side of the building.

- e. Development on corner sites shall incorporate splays, curves, building entries and other architectural elements to reinforce the corner as a landmark feature of the street.

E.2.2. Awnings and lighting

- a. Suspended awnings must be reinstated where evidence of the original structure exists, such as early photos and physical evidence.
- b. Awning design must be coordinated with building facades and be complementary in alignment and depth to the adjoining buildings and its awnings.
- c. Air conditioning condensers should not be placed on awnings as they are intrusive and detract from the architectural qualities of the building facades. Alternative positioning is to be explored to ensure the building façade is not compromised.
- d. Footpath areas are to be provided with under awning lighting. The selection of lighting will be consistent with the existing lighting standards.

E.2.3. Corner buildings

- a. Corner buildings should include building design elements that enhance the corner of the street block, such as through facade design, detailing and colour.
- b. Corner sites are to locate their primary entrance and frontage to the primary street. A secondary entrance may be oriented to the side street.

E.2.4. Materials, details and colours

- a. The colour, materials, finishes and details above the awning line should be integrated with the building design.
- b. Utilise high quality and durable materials and finishes that are sympathetic to the prevailing colours, textures, finishes and materials of existing buildings.
- c. Colour schemes shall be appropriate to the architecture of the building. The use of fluorescent paints and primary colours are not supported.
- d. All external infrastructure (including air conditioning units, plant rooms, ducting) must be screened from view from a public place or road.

E.3. Post Supported verandahs & balconies

Objectives

Ensure that balconies and verandahs complement the style of the building and are structurally sound.

Controls

- a. Verandahs and balconies were supported by posts and are to be setback a minimum of 1500mm from the rear of the kerb.
- b. Verandahs and balconies must complement the style, materials and character of the building being altered.
- c. Placement of posts supporting a verandah are not to interfere with the operation of, or access to utility infrastructure.

Explanatory Notes

Development application documentation

Public liability insurance to Council requirements, and a Council license is required for verandah or balcony awnings over the public footpath

E.4. Traffic & Access

Objectives

1. Ensure safe and adequate access to and from the land to the road network.
2. Ensure safe on-site manoeuvring for large design vehicles and loading/unloading facilities on site.
3. Road, driveway, loading and parking surfaces are designed and surfaced to ensure ease of movement, good maintenance and repair.

Controls

- a. All new car parking areas and their associated site accesses, vehicle manoeuvring areas and loading / unloading areas must be constructed with a surface finish in accordance with **Table 9**.

Table 9 Traffic and access - Commercial

Commercial Development	Acceptable surface finish
Site access	Concrete
Vehicle manoeuvring areas	Concrete / Bitumen Seal/Asphaltic Concrete
Car spaces	Concrete / Bitumen Seal/Asphaltic Concrete
Loading and unloading areas	Concrete / Bitumen Seal/Asphaltic Concrete
Accessible path of travel	Concrete / Bitumen Seal/Asphaltic Concrete

- b. Unsealed vehicle movement areas are generally not acceptable due to environmental management impacts. Alternative materials may be considered by Council where:
 - i. Vehicular movement areas are located behind the building;
 - ii. The areas serviced by tracked vehicles or heavy vehicles with tight turning circles; and
 - iii. It can be demonstrated that there will be no impacts to air quality, stormwater runoff quality, Council's assets or neighbouring properties.
- c. The following must be constructed for the full frontage of the site:
 - i. Kerb and gutter;
 - ii. Sealed road shoulder between the lip of the gutter and the edge of the existing seal;
 - iii. Footway formation and paving; and
 - iv. Associated road drainage.
- d. All vehicles must be able to enter and exit the site in a forward direction.
- e. Site access is not permitted:
 - i. Close to traffic signals, intersection or roundabouts with inadequate sight distances;
 - ii. Opposite other large developments without a median island;
 - iii. Where there is heavy and constant pedestrian movement on the footpath; or
 - iv. Where right turning traffic entering the site may obstruct through traffic.

- f. Separate signposted entrance and exit driveways are required for developments requiring more than 50 parking spaces or where development generates a high turnover of traffic.
- g. Access and parking arrangements must comply with AS 2890 Series.
- h. All access and movement areas within the site shall ensure that there is no conflict between pedestrian, customer vehicles and delivery vehicles. Plans should demonstrate how management of conflict between pedestrians and vehicles occur on site.
- i. Loading bay(s) must be sited to avoid use for other purposes such as customer parking or materials storage and be line-marked and sign posted.

Explanatory Notes

Document to be referred to

TfNSW *Guide to Traffic Impact Assessment*, September 2024.

E.5. Landscaping/shade structures

Objectives

Provide landscaping and shade structures to manage heat, increase green canopy cover, ensure cooling and visual attractiveness.

Controls

- a. Landscaping for shading shall be provided in outdoor car parking areas where >10 spaces are required.
- b. Shade structures shall be provided for 30% of parking spaces in outdoor car parking areas where ≥30 spaces are required.
- c. Edging on landscaping beds is to be provided to retain mulch and protect the landscaping from damage from vehicles.
- d. Landscaping shall comprise of only low maintenance, drought and frost tolerant species.
- e. Location and grouping of plant types shall be multi-functional providing privacy, security, shading and recreation functions.

E.6. Night time Economy and Activation

Objectives

1. Support a safe, diverse, inclusive, vibrant, and accessible night-time economy in local centres.
2. Ensure that commercial development that operates in Gunnedah CBD at night-time (after 9pm) or late-night (after 12am, midnight) do not generate adverse amenity impacts on residential and other sensitive land uses.
3. Enable trading hours to support night-time economy uses and activities in appropriate locations in centres and village hubs.
4. Promote street activation which encourages pedestrian traffic and ensures a safe and accessible environment.

Controls

- a. Night-time uses are designed to have minimal adverse impacts on the comfort and safety of patrons, nearby residents and the broader community, including:-
 - I. Night-time economy uses are to include passive surveillance over the street frontage, avoiding the use of roller doors, blank walls or other components which do not enhance safety of the area; and
 - II. Night-time uses shall include noise mitigation measures to manage any land use conflicts.
- b. The acoustic impacts from the movement of persons to and from the development on residential and other sensitive land uses are to be specifically assessed.

Explanatory Notes

Development application documentation

A Plan of Management and a Social Impact Assessment is to be submitted where night-time uses exceed 9:00pm.

Hours of operation are to be considered on a merit basis, with consideration of the following:

- a. The nature of the night-time use and its likely impacts on surrounding land uses, including residential;
- b. Surrounding hours of operation;
- c. Proposed management measures;
- d. The likelihood of the proposed use to promote antisocial activities;
- e. Levels of public lighting available at and to the site;
- f. Amenity impacts on surrounding premises; and
- g. Cumulative impact of uses in a location.

E.7. Gunnedah CBD

This section of the GDCP is applicable to the Gunnedah Central Business District (CBD) and is over and above the other controls outlined in Part E. This section relates to the three areas identified as CBD Core, CBD Eastern precinct and CBD Western Precinct shown in **Figure 7**.

The objective of this section is to promote the functional commercial and business area in order to make a positive contribution to the LGA and enhanced revitalisation of the centre to ensure ongoing services to residents and visitors alike. The controls provide guidance to achieve improved streetscape and design, continuation of character to enhance its attractiveness and appropriate public domain and parking incentives. The guidance also supports the primacy and heart of Gunnedah as the CBD.

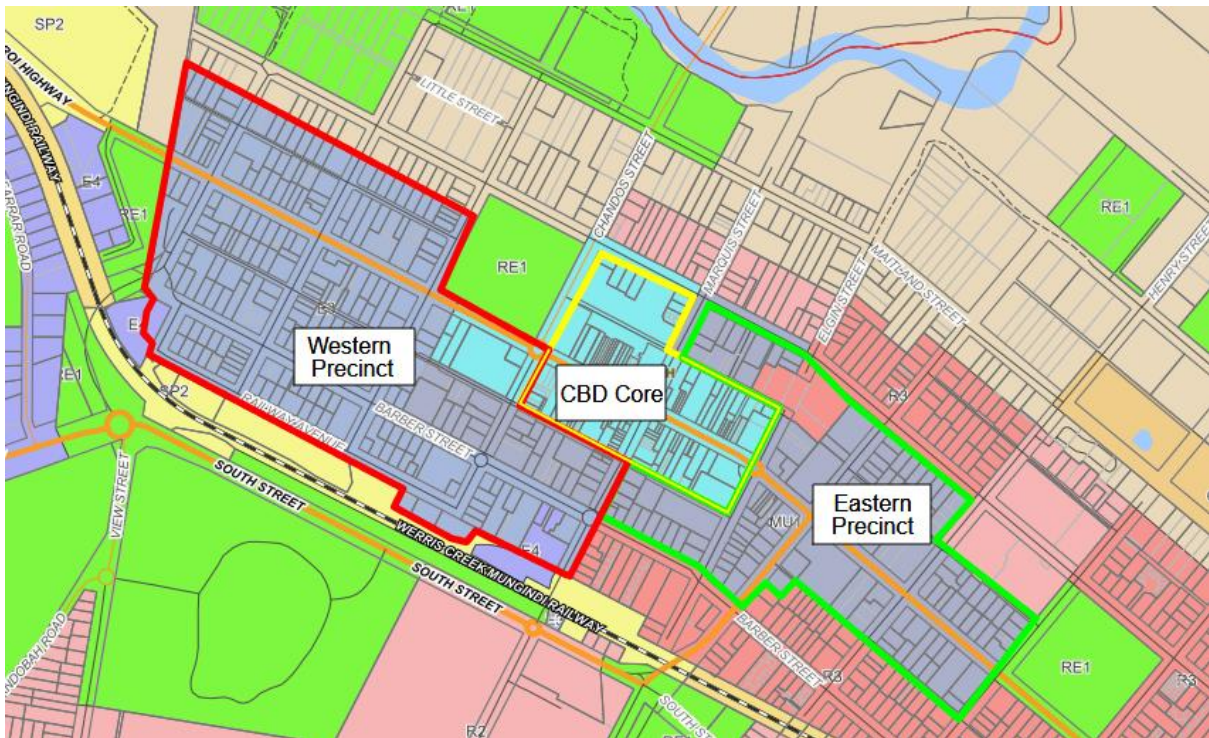


Figure 7 - Gunnedah CBD

E.7.1. Parking

Objectives

Provide appropriate car parking, with flexibility in certain circumstances, associated with uses within the Gunnedah CBD (as defined in the area in the Map in **Figure 8** below) to attract community and visitors to the CBD.

Controls

- a. Where sufficient carparking cannot be provided on site for developments within the area of the Gunnedah CBD, as identified on the *Parking Area Map Figure 8* below, because of spatial and geometrical challenges on the land, a contribution to the provision of offsite car parking spaces and embellishment of car parking can be applied/required. Details of the application and process can be found in *Gunnedah Shire Council CBD Parking Contributions Plan*.
- b. Where no increase in floor area occurs for commercial development fronting Conadilly Street, between Abbott Street and Chandos Street, no additional onsite parking demand is required where consideration has been given to maximise and formalise the existing onsite parking potential. This may include sealing and line marking existing informal parking areas.
- c. The front setback shall not be used for on-site car parking.

E.7.3 Laneways

Objectives

Improve the laneway character through landscaping along its edge, increased activation and support pedestrian movement.

Controls

- a. Trees must be provided on the premises where a building is orientated to the laneway or where rear access to the building is provided from the laneway.
- b. Where carparking is provided at the rear of the premises with direct access from a laneway, landscaping, including mature trees, must be provided within the property boundary adjacent to the laneway.



Figure 9 - Landscaping



Figure 10 - No Landscaping

E.8. Gunnedah CBD Core Precinct

Objectives

1. Contribute positively to Gunnedah's image (where agriculture, innovation, history and small business meets) and provide a sense of community pride and vibrancy.
2. Preserve the existing historical character of the CBD core, and of individual historic buildings and precincts, whilst encouraging redevelopment and celebrating Indigenous People's history and Country.
3. Residential development is located above ground floor with compatible retail and commercial uses.
4. Gunnedah Core is to be the primary commercial, retail and entertainment centre and ensure it functions effectively as a centre.

Controls

E.8.1. General

- a. Ground floor levels shall not be used for residential purposes, with shop top housing encouraged throughout the town centre.
- b. A minimum of 40% of the ground floor level front facade shall be clear glazed.
- c. Within the E1 Core Precinct there will be no front street setback for new or redevelopment of buildings.

E.8.2. Roofs, parapets and skyline

- a. Building facades fronting Conadilly Street are encouraged to incorporate a parapet consistent in height and character to those located adjacent.
- b. Parapets are to have a similar wall thickness to those located adjacent.
- c. Significant detailing of a parapet is encouraged in a manner that enhances the variety of the skyline and the visual character of the facade.
- d. Any building height above the street frontage parapet height is to be located such that it does not impact on the silhouette of the parapet on the skyline, when viewed from the opposite footpath.

E.8.3. Awnings and lighting

- a. Continuous street frontage awnings are to be provided for all new developments.
- b. Original awning fabric should be retained and conserved where it exists.
- c. Structures, including air conditioning condensers shall not be placed on awnings as they are intrusive and detract from the architectural qualities of the building facades. Alternative positioning is to be explored to ensure the building façade is not compromised.
- d. Under awning lighting shall be close fitting or flush with the underside of the awning. Suspended lights are to be avoided.
- e. Awning dimensions should generally be the following, with variations to be justified to council:
 - i. Minimum soffit height of 3.3 metres.
 - ii. Matching the profile of the adjoining building or structure.
 - iii. Setback a minimum of 600mm from the kerb.
 - iv. Located to ensure no conflict with street trees.

E.8.4. Rear development

- a. The bulk, scale and character of rear development must maintain the prominence of the existing building fronting Conadilly Street.

E.8.5. Corner buildings

- a. Particular emphasis shall be given to corner buildings through facade design, detailing and colour.

- b. Side Street elevations are to be designed and detailed in a manner that contributes to the pattern of Conadilly Street.
- c. Maintain the fine grain pattern of development and rhythm of buildings in the streetscape and conserve the significant features of the precinct, the streetscape character and setting of contributory buildings.

E.8.6. Materials, details and colours

- a. Provide high quality, durable materials and finishes that are sympathetic to the prevailing colours, textures, finishes and materials of existing buildings.
- b. Colour schemes shall be appropriate to the architecture of the building, and the use of fluorescent paints and primary colours are not supported.
- c. Colour schemes are to be coordinated for all individual buildings that comprise part of a row or a group.
- d. New or refurbished developments require the use of architectural details that enhance the texture and visual complexity of facades.

E.8.7. Incentives for redevelopment in the Gunnedah CBD

This clause applies to part of the E1 Core precinct which is the primary area where character, activation and ongoing renewal is critical for the future of Gunnedah CBD (shown in **Figure 12** below). Additional flexibility to achieve the core objectives is provided in this area to encourage renewal and activation, and improvement of the public realm.

Objectives

1. Encourage development and operation of thriving social and community infrastructure.
2. To incentivise renewal and redevelopment of buildings within the Gunnedah CBD and improve the public realm and activation.

Controls

- a. All vehicles should be able to enter and exit the site in a forward direction, except where revitalisation or renewal of the existing commercial/retail building is proposed, where exiting in a forward direction is unreasonable due to the width or size of the lot or loss of floor area. Reverse exiting will not be supported within 20m of an intersection.
- b. Where renewal/revitalisation is proposed and there is insufficient area available on site for deliveries to occur, loading and unloading does not have to occur on site. However, a plan of management outlining the management of deliveries (days, typically out of trading hours etc.) will need to be provided with the development application.
- c. Application of Gunnedah CBD Car Parking Contribution Plan 2024 will apply in this area, or circumstances where additional car parking requirements (up to 5 bays) may be waived if there is public parking within 30m of the site, the building is designed and oriented to the street or laneway to increase activation, and/or the proposed use includes a community use.



Figure 11 - Gunnedah CBD Core Precinct

E.9. Specific controls for Gunnedah CBD Eastern Precinct

Objectives

1. Create an attractive mixed-use entrance to the Gunnedah CBD through the CBD Eastern Precinct, and promote development to achieve urban improvement.
2. Ensure the design of mixed-use developments maintains a reasonable level of residential amenity and preserves compatibility between uses.

Controls

- a. Redevelopment of sites shall be a high architectural design, orientated to the street, the buildings articulated and set back from the street.
- b. Shops and restaurants with a gross floor area of less than 400m² are discouraged from this precinct and shall be located within the CBD Core.
- c. The development shall be designed so that loading bays, garbage collection areas, noise and odour generating aspects of buildings are located away from residential areas.
- d. Where a new building is proposed to be setback from the street boundary, it shall be setback a maximum of 1m and provide landscaping along the front.

E.10. Specific Controls for Gunnedah CBD Western Precinct

Objectives

1. Encourage a mix of business and commercial permissible uses that support the CBD Core.
2. Provide well designed buildings with landscaping along Conadilly Street.

Controls

- a. Shops and restaurants with a gross floor area of less than 400m² are discouraged from this precinct and shall be located within the CBD Core.
- b. All parking areas are to provide trees/landscaping along Conadilly Street

Explanatory Notes

Documents to refer to

Urban Design for Regional NSW

<https://www.planning.nsw.gov.au/plans-for-your-area/urban-design-for-regional-nsw>

NSW Government Architect – Better Placed

<https://www.planning.nsw.gov.au/government-architect-nsw/policies-and-frameworks/better-placed>

NSW Government Architect – Connecting with Country

<https://www.planning.nsw.gov.au/government-architect-nsw/policies-and-frameworks/connecting-with-country>

Gunnedah Shire Council CBD Parking Contributions Plan 2024

PART F - INDUSTRIAL DEVELOPMENT

Industrial land uses are important employment generators and economic contributors. The nature of these uses is often associated with impacts caused by noise or traffic, or environmental amenity for adjacent and nearby sensitive land uses. The function of industrial land uses, is often prioritised over its presence, including the design of buildings and streetscape appearance.

Industrial development often has specific challenges such as stormwater from large areas of impervious surfaces and roofing, pollutants from onsite activities, noise, waste, access and servicing. Notwithstanding, there are significant opportunities available to realise sustainability benefits.

The main objective of this guidance is to promote the efficient and economic use of industrial resources by ensuring proposed development is appropriate for industrial areas, and employment supports the economy of the LGA.

F.1. Building setback

Objectives

1. Ensure adequate area is available at the street frontage to accommodate satisfactory landscaping, access, parking of vehicles.
2. Reduce the visual impact of development on the streetscape.

Controls

- a. Front building setbacks are outlined in the **Table 10** below:
- b. Buildings are to be setback a minimum of 3m from the secondary street of a non-classified road.

Table 10 - Building setbacks - Industrial

Street	Minimum Setback (Primary Frontage)	Side/Rear (non-street frontage)
Mullaley Road (Oxley Highway)	10m	Building Code of Australia (BCA)
Farrar Road	10m	BCA
Quia Road	10m	BCA
Blackjack Road	10m	BCA
Other	7.5m	BCA

F.2. Design

Objectives

1. Encourage high quality, sustainable and innovative industrial design which enhances the quality of the streetscape and surrounding environment.
2. Encourage industrial development and employment generating uses that are functional, safe and operate in an environmentally responsible manner.

Controls

- a. Building elevations to the street frontage or where visible from a public road, reserve, railway or adjoining residential area are to incorporate variations in façade treatments, roof lines and building materials.
- b. Sun shading devices, screen and canopies must be provided for each window in a new building in a direction that is between north and northeast or north and west.
- c. Low scale building elements such as display areas, offices, staff amenities are to be located at the front of premises and constructed with materials other than steel cladding or include an architectural feature to provide street variety and provide passive surveillance.
- d. Roofing materials shall be non-reflective where roof pitch is greater than 17 degrees or visible from a public road.
- e. Industrial development proposed in close proximity to non-industrial uses must be compatible on both visual and operational grounds.
- f. Open work and storage areas are located at the rear of industrial developments and screened from view by landscaping.
- g. Buildings used for noisy operations should be designed (orientated, insulated etc) to inhibit the transmission of noise onto nearby properties used for residential or other noise sensitive purposes.

F.3. Traffic & access

Objectives

1. Ensure safe and adequate access to and from the land to the road network.
2. Ensure safe on-site manoeuvring for large design vehicles and loading/unloading facilities on site.
3. Road, driveway, loading and parking surfaces are designed and surfaced to ensure ease of movement, good maintenance and repair.

Controls

- a. Access driveways across the footpath and within the development site, shall be in accordance with Table 11.

Table 11 - Traffic and access - Industrial

Industrial development	Acceptable surface finish
Site access	Concrete
Vehicle manoeuvring areas	Concrete / Bitumen Seal/Asphaltic Concrete
Car spaces	Concrete / Bitumen Seal/Asphaltic Concrete
Loading and unloading areas	Concrete / Bitumen Seal/Asphaltic Concrete
Accessible path of travel	Concrete / Bitumen Seal/Asphaltic Concrete

- b. Unsealed vehicle movement areas are generally not acceptable due to environmental management impacts. Alternative materials may be considered by Council where:
 - i. Vehicular movement areas are located behind the building;

- ii. The areas serviced by tracked vehicles or heavy vehicles with tight turning circles; and
- iii. It can be demonstrated that there will be no impacts to air quality, stormwater runoff quality, Council's assets or neighbouring properties.
- c. The following must be constructed for the full frontage of the site:
 - i. Kerb and gutter;
 - ii. Sealed road shoulder between the lip of the gutter and the edge of the existing seal;
 - iii. Footway formation and paving; and
 - iv. Associated road drainage,
- d. All vehicles must be able to enter and exit the site in a forward direction.
- e. Site access is not permitted:
 - i. Close to traffic signals, intersection or roundabouts with inadequate sight distances;
 - ii. Opposite other large developments without a median island;
 - iii. Where there is heavy and constant pedestrian movement on the footpath; or
 - iv. Where right turning traffic entering the site may obstruct through traffic.
- f. Separate signposted entrance and exit driveways are required for developments requiring more than 50 parking spaces or where development generates a high turnover of traffic.
- g. Access and parking arrangements must comply with AS 2890 Series.

F.4. Landscaping

Objectives

Encourage landscaping that complements the design of the buildings, provides buffers to neighbouring lots and the public domain and shade onsite to improve the working environment.

Controls

- a. Landscaping is required:
 - i. in the front 3m of street setback;
 - ii. side and rear setbacks where visible from public place or adjoining residential area; and
 - iii. areas adjacent to building entrances and customer access points.
- b. Landscaping is to be provided on side and rear boundaries where visible from a public place or adjoining residential area.
- c. Landscaping for shading shall be provided in outdoor car parking areas where >5 spaces are required, to provide shading and soften the visual impact of large hard surfaces.
- d. The development must provide shade structures for 30% of parking spaces in outdoor car parking areas where ≥30 spaces are required, to provide shading and soften the visual impact of large hard surfaces.
- e. Location and grouping of plant types shall be multi-functional providing privacy, security, shading and recreation functions.
- f. Landscaping shall comprise only low maintenance, drought and frost tolerant species.

F.5. Fencing

Objectives

Fencing is for security purposes in industrial areas and is also to be used to improve the appearance, functionality and safety of a development.

Controls

- a. Security fencing must also be located behind the building setback area except when of a decorative nature which is to be integrated in the landscaped area.

F.6. Loading/unloading facilities

Objectives

Industrial development is to provide safe adequate circulation, loading and unloading areas.

Controls

- a. Adequate space and facilities are required to be provided wholly within the site.
- b. Loading and delivery bays must be designed to allow vehicles to enter and exit the site in a forward direction.
- c. Loading bay(s) must be sited to avoid passing the front of the building, crossing the dominant pedestrian entrance from the parking area, being used for other purposes such as customer parking or materials storage. Loading bays must be line-marked and signposted.

PART G - SUBDIVISION

The GLEP provides the opportunity for the subdivision of land for residential, industrial or commercial purposes or primary production depending on the land use zone and minimum lot size. In some instances, subdivision may be possible as 'exempt' development under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Subdivision in rural areas should be designed to mitigate impacts on significant environmental or topographic features. Applications should include suitable access to a public road and identify building envelopes for dwellings and ancillary structures.

The subdivision layout of residential areas must maximise solar access to dwellings and open space through the careful design of the orientation and size of lots. The subdivision layout must also consider safety and security, particularly the need for the road network to always provide safe and convenient pedestrian access and vehicle access for waste collection and emergency vehicles.

G.1. Lot orientation

Well orientated lots within a subdivision enable buildings to be sited so that they can include passive solar design features and allow a greater area of roof space to be positioned for solar energy purposes.

Objectives

Ensure that lot orientation maximises energy efficiency and conservation principles.

Controls

- a. Lot size, shape and orientation is to provide optimal opportunity for passive solar design of future buildings.
- b. Lots are to be oriented north/south in urban areas. Building envelopes on larger lots or in rural areas are to be of sufficient size and orientation to allow construction of a building with a north/south orientation.
- c. New roads are to be aligned east-west and north-south wherever possible.
- d. Lots with an east-west orientation may require, depending on lot size, to be widened to provide for optimal solar access and to prevent overshadowing of buildings and private open space on adjoining lots.
- e. Design of lots on sloping sites will be required to:
 - i. minimise the need for boundary retaining walls
 - ii. minimise the potential for overlooking of adjoining properties and
 - iii. maintain solar access.

G.2. Subdivision design

Objectives

1. Appearance and layout of new subdivisions are sympathetic to the character of existing areas.
2. To ensure that subdivision does not limit the development of adjoining land.

3. To limit the length of the cul-de-sacs and no through roads.

Controls

- a. The depth of the lot shall not exceed the width of the lot by more than 5:1.
- b. For lots in cul-de-sacs, the frontage shall be sufficient to enable the proposed dwellings to address the street.
- c. Public road access is required to all lots. A right of way will generally not be supported as the primary access in lieu of access to a public road.
- d. Access should be from the lowest order road and where possible a new road should be created for purposes of access.
- e. The subdivision design shall accommodate the retention of significant trees and vegetation.

Battle-axe blocks

- f. Battle-axe blocks shall comply with the following controls:
 - i. Within the R2, R3 and RU5 zones, access handles shall be a minimum width of 5m, of which 3m is to be constructed and sealed with reinforced concrete, asphaltic concrete or interlocking pavers prior to the issue of the subdivision certificate.
 - ii. Within all other zones, the minimum width of a handle is 15m, with a maximum length of 200m.
 - iii. The topography of the site may require installation of kerbing to manage overland stormwater.
- g. Cul-de-sacs will generally not be supported on mapped as bushfire prone land.

Industrial Lots

- h. Industrial lots shall have a minimum street frontage and square width of 24m and a minimum area of 1000m².

Note: This size is specified to facilitate subdivision for lease purposes and does not generally reflect a suitable configuration for industrial lots, which should be sized to accommodate development, storage areas and vehicle delivery and manoeuvring requirements.

G.3. Roads

Objectives

1. New or upgraded roads provide for safe and efficient movement for all road users including pedestrians, cyclists and other non-vehicular road users.
2. New or upgraded roads integrate with the existing road network and hierarchy.
3. New or upgraded roads have an appropriate road design for the intended development.
4. All lots have suitable, safe and efficient access to and from public roads and that all road and stormwater drainage infrastructure works are properly constructed.

Controls

- a. An assessment of potential traffic impacts is to include an assessment of the proposed subdivision and its impacts on the adjacent existing road network. For development involving more than 5 lots, a detailed Traffic Impact Assessment is to be submitted with the development application.
- b. The road hierarchy shall be defined according to Gunnedah Shire Councils Engineering Design Minimum Standards.
- c. Road network design shall include consideration of vehicular, pedestrian and cyclist safety.
- d. Residential subdivision must incorporate appropriate facilities and opportunities for pedestrian and bicycle movement and include shared paths and street tree planting.
- e. The alignment, width and design standard for all roads shall be in accordance with the expected traffic volume, type of traffic and desired speed in accordance with Council's Engineering Design Minimum Standards.
- f. Kerb and gutter is required for subdivision where the Lot Size Map specifies a minimum lot size of up to and including 3000m².
- g. Sealed pavement will be required where the Lot Size Map specifies a minimum lot size of up to and including 10 hectares (this does not relate to RU5 village zone).
- h. A road within a residential subdivision in R2 and R3 zone must include a constructed shared path (minimum width of 2.5m).
- i. Subdivision layouts shall make provision for road connection to adjoining undeveloped land.
- j. Roads are to be designed having regard to both topography of the site and the requirements of stormwater overland flow paths.
- k. Roads within the E4 and E5 land zones shall be in accordance with Council's Engineering Design Minimum Standards, including sealed wearing course and full kerb and guttering along all frontages.

Garbage collection

- l. Road design must accommodate the legal movement of garbage collection vehicles.
- m. Allotments are to allow for placement of garbage bins within the alignment of that lot.
- n. In staged subdivisions temporary turning facilities shall be provided to facilitate garbage collection services.

Explanatory Notes

Document to refer to

TfNSW Guide the Traffic Impact Assessment, 2024.

Gunnedah Shire Council Engineering Guidelines for Subdivisions and Developments, 2013 (or current version)

G.4. Street trees in urban zones

Objectives

Ensure that appropriate street trees are planted to assist with visual appeal and shade provision.

Controls

- a. Street trees shall be provided at a rate of one tree per allotment.
- b. Street trees shall be planted no closer than 900mm to the kerb, clear of driveways and underground services.
- c. Advanced trees shall be planted and maintained by the developer for at least 12 months, any trees that fail to thrive shall be replanted immediately.
- d. Species shall be selected from Council's Street Tree Strategy that are drought, frost and disease tolerant with minimum maintenance requirements upon maturity.
- e. Spacing and size should be appropriate for the scale of the neighbourhood, building setbacks and width of road pavement, width of the verge, location of infrastructure including power, and stormwater and location of driveways. Generally, the following spacing shall apply:
 - i. Small trees – 5-7 metres;
 - ii. Medium trees – 7-10 metres.

G.5. Servicing strategy

All development applications shall provide a servicing strategy (water, sewer, stormwater, telecommunications and electricity) that identifies servicing requirements necessary for the development and any upgrades proposed to the existing system in accordance with the Council's requirements.

The strategy shall include evidence that the developer has consulted with the Council:

- » in relation to the availability and capacity of the existing water and sewer networks consistent with the likely future use of the land, and
- » to obtain available information in relation to stormwater catchments, capacities, and preferred solutions.

For new estates this shall include nomination of a maximum number of equivalent tenements that will be serviced by the infrastructure.

Development applications for subdivision or major development are to consider the timing and staging of infrastructure provision including:

- » Demonstrating that water and sewerage reticulation is able to be provided having regard to Gunnedah Shire Council water mains and sewer servicing strategy.
- » Forward funding of any infrastructure developer contributions ahead of Council's program of works.

All lots are to be provided with water and sewer connections suitable for the intended development where existing infrastructure is located within reasonable proximity.

G.5.1. Water

Objectives

1. Provide a regular supply of potable water, with sufficient capacity for peak usage, firefighting and long-term development.
2. Provide an adequate supply of potable water for sites that cannot be connected to the water supply.

Controls

- a. The servicing strategy shall identify the method of providing water to the proposed lots in accordance with Engineering Design Minimum Standards.
- b. Reticulated water is to be supplied to subdivision where the Lot Size Map specifies a minimum lot size of up to and including 1.2 hectares.

G.5.2. Sewer

Objectives

1. Residential areas are to be serviced with a sewage management system that is cost effective and efficient and supports sustainable practices.
2. Ensure that where on-site sewage management systems are required it does not result in:
 - i. land quality deterioration through chemical or biological contamination or degradation of soil structure, or
 - ii. contamination of surface waters, subsurface flow or groundwater.

Controls

- a. The servicing strategy shall identify the method of providing sewer to the proposed lots in accordance with Engineering Design Minimum Standards.
- b. Detail of any lot filling required to achieve minimum grade shall be provided.
- c. Reticulated sewer is required where the Lot Size Map specifies a minimum lot size of up to and including 3000m².
- d. On site sewerage management systems will be required when development lots where the Lot Size Map specifies a minimum area of 1 hectare or greater.

G.5.3. Stormwater drainage

Objectives

1. Control and manage all stormwater generated within the development or passing through development from the surrounding catchments.
2. Provide an effective outlet for all collected stormwater from the subdivision or development to the legal point of discharge.
3. The development shall demonstrate that it will not adversely impact water quality or aquatic habitat and riparian vegetation downstream.

Controls

- a. A servicing strategy shall be provided in accordance with Gunnedah Shire Council's Engineering Design Minimum Standards.

G.5.4. Telecommunications & electricity

Objectives

Subdivisions are to be provided with adequate telecommunications and electricity services.

Controls

- a. The telecommunications must be provided to the boundary of all lots in the subdivision at the full cost of the developer.
- b. The subdivision is to be serviced by underground electricity where the Lot Size Map specifies a minimum lot size of up to and including 9.9 hectares.
- c. For subdivision of land where the Lot Size Map specifies a minimum lot size of greater than 9.9 hectares and less than 40 hectares, electricity supply is required and may be overhead.
- d. For subdivision of land where the Lot Size Map specifies a minimum lot size of 40 hectares or greater, no connection to electricity is specified.
- e. Alternate arrangements to mains power may be acceptable in exceptional circumstances, where detailed solar report is provided.
- f. Council will consider alternative solutions for the provision of services on lots in the RU1, RU4 RU6 and C3 zones where the application can demonstrate that physical connection is not practical.

Explanatory Notes

Documents to refer to

Water and sewer are to be designed in accordance with the Water Supply Code of Australia, Sewerage Code of Australia and Sewage Pumping Station Code of Australia (most recent versions) as published by Water Services Association of Australia, GSC Engineering Design Minimum Standards.

Development application documentation

Servicing Strategy and Civil Drawings

PART H - ADDITIONAL DEVELOPMENT CONTROLS

H.1. Renewable Energy

For the purpose of this DCP, 'Electricity generating works' comprising of renewable energy systems that do not achieve the provisions of exempt or complying development under State Environmental Planning Policy (Transport and Infrastructure) 2021 must comply with the provisions of this plan. The placement of inverters and associated infrastructure to support the solar energy system also requires Council's consent.

It is highly recommended that a pre application meeting with council is held prior to submitting a development application.

Objectives

- a. To minimise potential land use conflicts.
- b. To ensure that there is no unreasonable interference with the comfort or response of adjoining land users.
- c. To ensure that impacts on agricultural land, businesses and tourism are considered.
- d. To ensure road access, visual impacts, noise, health, waste, construction management and environmental constraints are identified, and sufficient information is included with each development application to enable a proper assessment.
- e. To ensure that adequate provisions are made to restore developed land at the end of the life of the development.

Controls

- a. The developer must assess the visual impact of the project including an assessment of the development on the scenic value and character of the locality. This assessment should consider how the proposal will maintain the unique local character of the area, all significant vistas and examine local community values towards key elements which form the identity of the area being impacted by the proposal.
- b. The development must be sited and carried out to minimise impacts on, or restrictions to grazing, farming, residential, tourism, business and forestry practices.
- c. The development must be carried out in a way that minimises any physical adverse effects on adjoining land and the development site, including, but not limited to:
 - i. land degradation
 - ii. native vegetation loss
 - iii. alteration to drainage patterns
 - iv. pollution of surface and ground water
 - v. spread of noxious plants and animals, and
 - vi. bushfire hazard
- d. The developer must assess the cumulative impact of the development having regard to solar energy farms already built and those approved but not yet constructed. Council does not favour large expanses of land being covered with solar energy farms where there is significant cumulative impact.

- e. Development must consider the NSW Department of Planning and Environment Solar Energy Guidelines, NSW Noise Policy for Industry and any other NSW Acts, Rules or Regulations applicable renewable projects including wind and solar energy farms.
- f. Where the proposal is located within a 5km radius from main townships and villages, the proposal must demonstrate that it will not impact on the scenic value and character of the locality.
- g. Solar Energy Farms and wind turbines must not be located within 500m of any dwelling not associated with the development or from any lot in the R2, R3, R5, RU5 and RU4 zones upon which a dwelling may be constructed.
- h. Development must not be located within 200m from a formed Local Public Road or 500m from a Regional or State Road. A greater distance may be required by the road authority where visual impact mitigation is necessary.
- i. Construction vehicles, including concrete trucks, carriers of solar/ inverter/battery storage components, and related workforce vehicles (including relevant contractors) shall only travel on an approved route. This route should be identified in a traffic report having regard to public safety especially school bus hours and citizens peak hour travel to work and approved in accordance with this Plan.
- j. All infrastructure related to the development should be included in the development application. Management of temporary facilities, waste, numbers of contractors/employees, etc., should be part of the Development Application information. All infrastructure should be located in low visual impact locations and interconnection cables/wiring and the like should be underground.
- k. Within six months of the project ceasing to operate, any rights of carriageways that were created to enable maintenance to be conducted are to be extinguished by the developer and the land made good, unless otherwise agreed with the landowner.
- l. Within twelve months of the project ceasing to operate, all infrastructure is to be fully dismantled and removed from the site.

Additional Controls for Solar Farms

- m. Solar Energy Farms shall not be located within 100m from a non-related property boundary; existing and proposed screenings may be used to minimise visual impacts to non-related properties. However, screening is not the only preferred method of minimising visual impact. Solar arrays shall be located in positions so as to have minimal visual impact on nearby properties, especially existing dwellings and lots on which dwellings may be constructed.
- n. Solar Energy Farms should not surround a non-related property. Solar arrays shall be located with the specified setbacks from property boundaries to minimise the visual impact of the development on adjacent and nearby non-related property.

Explanatory Notes

Document to refer to

Proposed solar farms should consider the NSW Department of Planning, Housing and Infrastructure Solar Energy Guidelines, NSW Noise Policy for Industry and any other NSW Acts, Rules or Regulations applicable to solar energy farms.

Proposed wind turbines shall comply with the NSW Wind farm Guidelines and any other NSW Acts, Rules or Regulations applicable to wind farm noise.

Development application documentation

The planning application must include, but is not limited to, the following:-

- The location of the property, land contours, boundary dimensions and site area. This should include a topographic map of 1:25,000 scale showing the location of the proposed solar development, the route of transmission lines to the electricity grid (and include access road/s and erosion control assessments), the service roads on and to the site, and the proximity to significant features such as main townships or villages, main roads, other solar farm developments, dwellings, environmentally and visually sensitive land, watercourses or drainage lines, crop and pasture land, forests, national parks, heritage items or conservation areas and aircraft facilities.
- The site plan or plans showing the position of the proposed solar panel arrays, inverters, battery storages and all construction facilities from site boundaries, the land contours, native vegetation to be removed or retained, the proposed vehicular access points, the location and uses of all existing and proposed buildings, power lines, sub-station and fences on the land.
- A description of the proposed solar arrays including all relevant design details such as number, dimensions, generation capacity, overall height once mounted, rotational information and materials / colour including if mirror or lenses are proposed. This may also be supported by an elevation plan.
- Details of the proposed connection to the electricity reticulation network
- A land use description of the adjoining land and/or affected lands and landscape including assessment of the likely future impact.
- A description and assessment of the visual effects on all scenic, neighbouring and public view locations including photomontages, plate or panoramic photomontages, computer assisted photo simulations or other graphic representations of the appearance of the solar arrays and ancillary infrastructure such as inverters, transmission lines and battery storages. Viewshed modelling via the use of a suitable GIS (e.g. "MapInfo") is recommended.
- A glint and glare assessment, including full details on night lighting.
- The cultural heritage significance of the site and surrounds.

Statement of Environmental Effects

All development applications must be accompanied by a Statement of Environmental Effects that includes as a minimum the following:

- The site context being the location of the property, land contours, boundary dimensions and site area. This plan should be scale and show the location of the proposed development, the route of transmission lines to the electricity grid, service roads to and from the site and the location of significant features such as townships or villages, main roads, other renewable energy projects, dwellings, environmentally and visually sensitive land, watercourses or drainage lines, crop and pasture lands, forests, national parks, heritage items or conservation areas and aircraft facilities.
- The site plan showing the position of the proposed infrastructure including turbine, solar arrays, inverters, battery storages and all construction facilities from site boundaries, the land contours, native vegetation to be removed or retained, the proposed vehicular access points, the location and use of all existing and proposed buildings, power lines, sub-stations and fences on the land.
- A description of the proposed development including all relevant design details such as the number of turbines/panels, dimension, generation capacity, overall height and rotational information, materials and colour including is mirror or lenses area proposed. This much be

supported by elevations.

- Detail of the proposed connections to the electricity reticulation network.
- A land use description of the adjoining land and/of affected land and landscape including assessment of the likely future impact.
- A Land Use Conflict Risk Assessment (LUCRA) shall be prepared in accordance with the Land Use Conflict Risk Assessment Guide produced by the Department of Primary Industries.
- A noise impact assessment demonstrating compliance with the NSW Noise Policy for Industry 2017, Noise Construction Guidelines and any other NSW Acts, Rules or Regulations applicable to noise including during construction, operation and decommissioning.
- A description and assessment of the visual effects on all scenic, neighbouring and public view locations including photomontages, plate or panoramic photomontages, computer assisted photo simulations or other graphic representations of the appearance of the solar arrays and ancillary infrastructure such as inverters, transmission lines and battery storages. Viewshed modelling via the use of a suitable GIS (e.g. "MapInfo") is recommended.
- A glint and glare assessment, including full details on night lighting shall be submitted with the DA.
- A construction program and environmental management plan incorporating the proposed staging of the project, erosion and sedimentation controls, heavy vehicle movements, site access including all service roads, substation, underground wiring, construction phase impacts including facilities, waste disposal (type, volume and disposal location), staff/contractor numbers etc., weed control, farm impacts and all other works.
- Council will require a full traffic assessment as part of the development application which shall detail the impact of construction vehicles on the proposed route having regard to public safety especially school bus hours and citizens' peak hour travel to work. Detailed road condition reports will be required as part of any consent.
- An evaluation of flora and fauna impacts with specific mention of migratory species potentially impacted by the development. Where the development is in close proximity to known habitats of threatened species (Flora or Fauna), early consultation with the Department of Environment, Climate Change, Water and Energy is highly recommended.
- A decommissioning and site restoration plan should be included that provides measures to remediate the land in accordance with SEPP (Resilience and Hazards) 2021– Chapter 4 Remediation of Land along with details of appropriate disposal methods for all infrastructure.
- The cultural heritage significant of the site and surrounds.
- An assessment of any risks involved in soil disturbance or arising from vibration or microclimate impact including contamination impacts on hydrology and archaeological issues.
- Applicants are required consult with the community prior to the submission of the development application. The SEE should include evidence should be provided demonstrating consultation.

H.2. Restricted Premises (Brothels)

The sex industry includes businesses directly or indirectly providing sex-related products and services, or adult entertainment. The industry includes activities involving sex-related services, such as prostitution, and sex-related pastimes, such as sex shops and strip clubs.

Location requirements and development standards for establishments aim to minimise impacts on adjoining land uses, particularly residential accommodation, and other sensitive land uses. In addition the *Restricted Premises Act 1943* provides the statutory framework for the control of sex services premises and restricted premises in NSW. The NSW Land and Environment Court developed a 'brothels' planning principle for the consideration of sex services premises.

Objectives

1. Ensure sex industry establishments are sensitively located and are not concentrated in any one area.
2. The design and operation of sex industry establishments is to ensure they are discreet, fit within the character of the streetscape and do not adversely impact on the amenity of the neighbourhood.
3. Protect the privacy and visibility of workers, clients and activities associated with sex industry establishments.
4. Optimise the personal safety and security of workers, clients and the public through the design and operation of sex industry establishments.
5. Safeguard reasonable working conditions for sex industry workers.

Controls

- a. A Restricted Premises must be sited so that arrivals/departures of staff and clients late at night will not cause the disruption to the amenity of the neighbourhood.
- b. Restricted Premises must be located at least 200m from any of the following:
 - i. Existing dwellings;
 - ii. Residential zone;
 - iii. Place of worship;
 - iv. Any place designated for and utilised by children (e.g. childcare centre, community facility, educational establishment, entertainment facility, recreation area/facility);
 - v. Any other sex services premises.
- c. Any advertising shall be discreet, not include any imagery, and limited to a single identification sign that is not illuminated.
- d. Adequate car parking shall be provided for staff and clients.
- e. The design and external appearance of sex services or restricted premises, including any associated structure/s, does not dominate or have an adverse impact on the streetscape appearance and architectural character of the surrounding built environment.
- f. Adequate lighting of the entrance is essential to ensure the safety of sex workers and clients who are leaving and arriving at the premises.
- g. All adult entertainment and sex industry premises must include measures that provide for and ensure adequate health, safety and security of staff and visitors including where appropriate:
 - i. the separation of reception and waiting rooms from other areas, such as working rooms and staff areas
 - ii. the elimination or minimisation of alcoves and other potential entrapment spaces and safety and surveillance systems.

H.3. Shipping Containers

Objectives

To provide guidance on the placement and use of shipping containers

Controls

- a. Shipping Containers are not permitted in the R2, R3 E1 or MU1 zones.
- b. The number of permanent shipping containers should be limited to one per property in the R5 (with a minimum lot size $\geq 9000\text{m}^2$), RU5, RU6 and C3 zones.
- c. Shipping containers must be placed securely on a level site, tied down and not located in areas subject to flooding or high wind conditions unless appropriate measures are put in place.
- d. Shipping containers shall not be located within the front (and side for a corner lot) setback of a dwelling, commercial or industrial building.
- e. Setbacks from all other boundaries must comply with those applicable to outbuildings set out elsewhere in this Plan.
- f. The application shall address the visual appearance of the development through the use of appropriate colours and materials and landscaping.
- g. Shipping containers shall not be located over or in the vicinity of drainage, sewerage, power or telecommunications infrastructure, effluent disposal areas, or any other easements.

H.4. Tree Preservation

Part 2.3 of State Environmental Planning Policy (SEPP) (Biodiversity and Conservation) 2021 allows for the inclusion of vegetation to which a Council may issue a permit to a Landholder to clear vegetation.

In accordance with section 2.9(2) of SEPP (Biodiversity & Conversation 2021), refer to Table 12 for declared vegetation in non-rural areas in Gunnedah Shire.

Table 12 - Declared vegetation list

Threshold Category	Declared vegetation
Species	Nothing adopted
Size	Nothing adopted
Location	Nothing adopted
Ecological Community	Nothing adopted



Gunnedah

Shire Council

Open New Horizons

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